

SOUTHSIDE ELEMENTARY RENOVATION

10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DINWIDDIE COUNTY PUBLIC SCHOOLS

RRMM ARCHITECTS, PC

ARCHITECTURE / PLANNING / INTERIORS

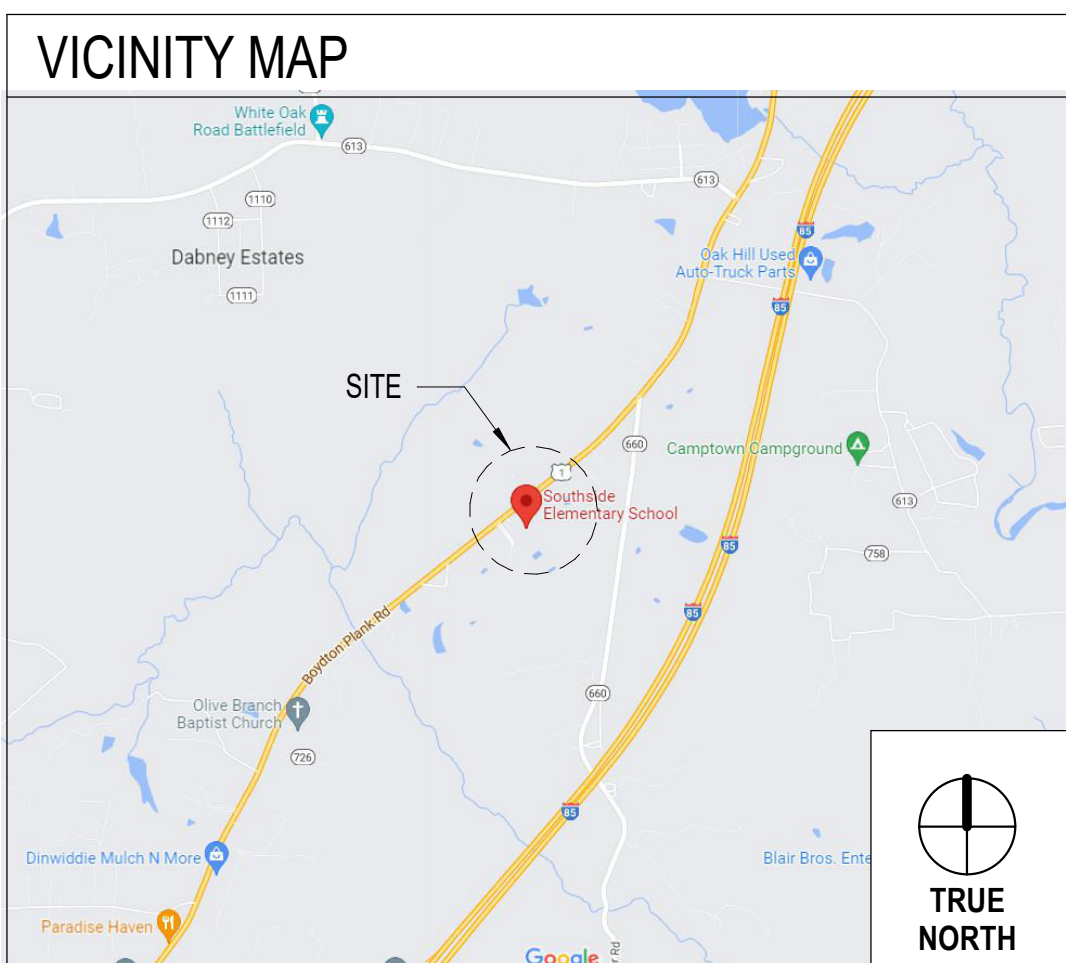
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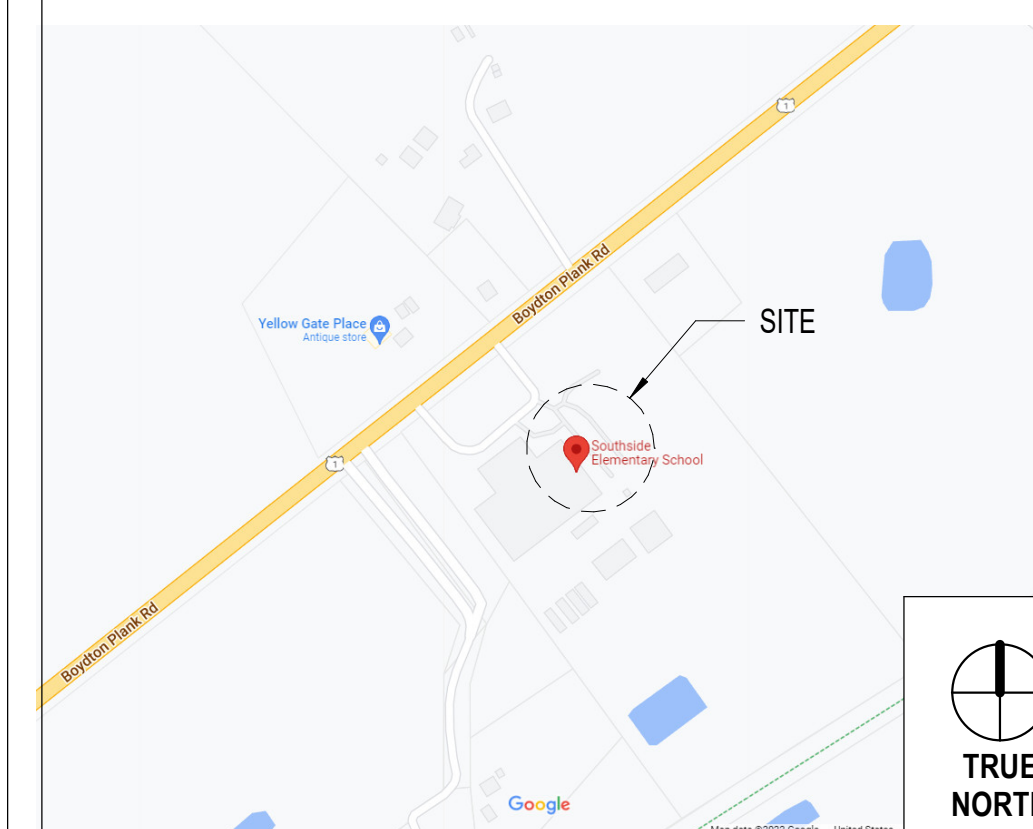
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LOCATION MAP



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BUILDING CODE DESIGN SUPPORTING DATA

APPLICABLE CODES

- VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) 2018
- VIRGINIA CONSTRUCTION CODE (VCC) 2018 -VUSBC PART 1
- VIRGINIA EXISTING BUILDING CODE (VEBC) 2018 LEVEL 2-VUSBC PART 2
- VIRGINIA STATEWIDE FIRE PREVENTION CODE (VSFFC) 2018
- NATIONAL FIRE ALARM AND SIGNALING CODE -NFPA 72, 2016
- STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS - NFPA 241, 2016
- AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, SEPTEMBER 15, 2010
- VIRGINIA PLUMBING CODE, 2018
- VIRGINIA MECHANICAL CODE, 2018
- NATIONAL ELECTRICAL CODE-NFPA 70, 2017

EXISTING BUILDING CLASSIFICATION (PER VEBC)
THE EXISTING BUILDING WAS CONSTRUCTED IN 1971.

BUILDING AREAS
FIRST FLOOR BUILDING AREA: 60,890 SF GROSS, 58,383 SF NET
PHASE I - 31,244.5 SF GROSS
PHASE II - 29,645.5 SF GROSS

BUILDING OCCUPANCY AND CONSTRUCTION TYPE
EXISTING BUILDING USE CLASSIFICATION: GROUP "E" EDUCATIONAL.
PROPOSED BUILDING USE CLASSIFICATION PER VCC 302.1: GROUP "E" EDUCATIONAL.

PER VCC 303.1.3 ASSEMBLY AREAS THAT ARE ACCESSORY TO GROUP E ARE NOT CONSIDERED SEPARATE OCCUPANCIES.
PER VCC 602.1 CONSTRUCTION TYPE: TYPE IIB, NON-COMBUSTIBLE UNPROTECTED, UNSPRINKLED, WITH FIRE ALARM.

IBC CHAPTER 6 ALTERATIONS
SECTION 601.2.2 THIS PROJECT IS CLASSIFIED AS AN LEVEL 2 ALTERATION SINCE THE ALTERATIONS INCLUDE THE ADDITION AND ELIMINATION OF DOORS, WINDOWS, WALLS, AND CEILING ASSEMBLIES. THE ALTERATIONS ALSO INCLUDE THE RECONFIGURATION AND EXTENSION OF MEP SYSTEMS.

IBC SECTION 503 ALTERATIONS
SECTION 503.1 THE ALTERATIONS PROPOSED IN THIS PROJECT DO NOT MAKE THE EXISTING BUILDING LESS COMPLIANT WITH THE INTERNATIONAL BUILDING CODE PRIOR TO THE ALTERATION.

IBC SECTION 601 TYPES OF CONSTRUCTION
TABLE 601 THE NEW WORK PROPOSED IN THIS PROJECT IS COMPLIANT WITH THE EXISTING TYPE IIB CONSTRUCTION TYPE.

IBC SECTION 803.13 INTERIOR FINISHES
GROUP E
CORRIDORS: CLASS B
ROOMS AND ENCLOSED SPACES: CLASS C

IBC SECTION 1004 OCCUPANT LOAD
THE OCCUPANT LOAD OF THE EXISTING SCHOOL HAS NOT CHANGED DUE TO THE PROPOSED SCOPE OF THIS PROJECT. EXISTING OCCUPANCY LOAD = 550 OCC.

AREA ALLOWANCE PER OCCUPANT (PER VCC TABLE 1004.1.1)

- ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOMS 300 SF GROSS
- ASSEMBLY, UNCONCENTRATED TABLES AND CHAIRS 15 SF NET
- ASSEMBLY, CONCENTRATED 7 SF NET
- BUSINESS AREAS 100 SF GROSS
- EDUCATIONAL CLASSROOMS 20 SF NET
- EDUCATIONAL SHOP AND VOCATIONAL ROOMS 50 SF NET
- COMMERCIAL KITCHEN SPACE 200 SF GROSS
- LIBRARY READING ROOMS 50 SF NET
- LIBRARY STACK AREA 100 SF GROSS
- STAGE 15 SF NET

IBC SECTION 1005 MEANS OF EGRESS SIZING
THE MINIMUM EGRESS WIDTH HAS NOT CHANGED DUE TO THE SCOPE OF THIS PROJECT.

IBC SECTION 1006 NUMBER OF EXITS AND EXIT DOORWAYS
THE NUMBER OF EXITS HAS NOT CHANGED DUE TO THE SCOPE OF THIS PROJECT. THE COMMON PATH OF TRAVEL HAS NOT CHANGED DUE TO THE SCOPE OF THIS PROJECT.

BUILDING CODE DESIGN SUPPORTING DATA CONT.

IBC SECTION 2902 MINIMUM PLUMBING FACILITIES

DURING SCHOOL HOURS FIXTURE COUNTS ARE BASED ON VPC TABLE 403.1 BUILDING USE OCCUPANCY CLASSIFICATION: (E) EDUCATION
THE PLUMBING FIXTURES REQUIRED AND PROVIDED FOR: MAXIMUM DESIGN OCCUPANT LOAD OF 550 OCCUPANTS.
WATER CLOSETS REQUIRED = 11. WATER CLOSETS PROVIDED = 46
LAVATORIES REQUIRED = 11. LAVATORIES PROVIDED = 22
DRINKING FOUNTAINS REQUIRED = 6. DRINKING FOUNTAINS PROVIDED = 4 EXISTING TO REMAIN
SERVICE SINKS REQUIRED = 1. SERVICE SINKS PROVIDED = 3
CLASSROOM SINKS / PROJECT BASED LEARNING SINKS = 34

AFTER SCHOOL HOURS (ACTIVITIES) FIXTURE COUNTS ARE BASED ON VPC TABLE 403.1 BUILDING USE OCCUPANCY CLASSIFICATION: (A-4) ASSEMBLY
THE PLUMBING FIXTURES REQUIRED AND PROVIDED FOR: MAXIMUM DESIGN OCCUPANT LOAD OF 500 OCCUPANTS.
WATER CLOSETS REQUIRED = 2. WATER CLOSETS PROVIDED = 8
LAVATORIES REQUIRED = 3. LAVATORIES PROVIDED = 4
DRINKING FOUNTAINS REQUIRED = 2. DRINKING FOUNTAINS PROVIDED = 2
SERVICE SINKS REQUIRED = 1. SERVICE SINKS PROVIDED = 1

DISCLOSURE STATEMENTS

ASBESTOS DISCLOSURE STATEMENT
BUILDING WAS CONSTRUCTED BEFORE JANUARY 1, 1985 - NO HAZARDOUS/ ASBESTOS CONTAINING BUILDING MATERIALS (ACBM) SHALL BE USED ON THIS PROJECT.

ACBM ARE SUSPECTED TO HAVE BEEN USED IN EXISTING CONSTRUCTION IN THE FORM OF 12X12 VCT FLOORING TILE AND ASSOCIATED MASTIC. REFERENCE SPECIFICATION SECTION 003216.1 "ASBESTOS ABATEMENT" AND THE AHERA REINSPECTION REPORT DATED 1/23/2020, AND AHERA REINSPECTION REPORT EXECUTIVE SUMMARY DATED 1/14/1992 INCLUDED IN THE SPECIFICATIONS.

IF ANY SUSPECTED ACBM MATERIALS ARE DISCOVERED BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY ARCHITECT/ OWNER IMMEDIATELY. WHERE SUCH ACTIONS ARE REQUIRED, THE ABATEMENT / REMOVAL OF HAZARDOUS AND/ OR ASBESTOS CONTAINING MATERIALS WILL BE HANDLED UNDER A SEPARATE CONTRACT BY THE OWNER. THE ASBESTOS ABATEMENT CONTRACTOR SHALL MARK UP THE AS-BUILT DRAWINGS RESULTING FROM ITS WORK TO INCLUDE AREAS WHERE ASBESTOS WAS ABATED, AREAS WHERE ASBESTOS WAS ENCAPSULATED, AND AREAS WHERE ACBM EXIST BUT WERE LEFT IN PLACE. THE ACBM THAT IS TO REMAIN AND THE NEW NON ASBESTOS-CONTAINING MATERIAL SHALL BE LABELED ACCORDINGLY. THE GENERAL CONTRACTOR SHALL REVIEW AND CERTIFY THE LOCATIONS WHERE ACBM WAS ABATED, AREAS WHERE ACBM WAS ENCAPSULATED AND AREAS WHERE ACBM WAS LEFT IN PLACE AS MARKED ON THE AS-BUILT DRAWINGS AND WILL PROVIDE THE DRAWINGS TO THE ARCHITECT.

LEAD DISCLOSURE STATEMENT
BUILDING WAS CONSTRUCTED BEFORE JANUARY 1, 1985 - NO HAZARDOUS/ LEAD CONTAINING BUILDING MATERIALS (LCBM) SHALL BE USED ON THIS PROJECT.

NO SUSPECTED LCBM ARE KNOWN TO HAVE BEEN USED IN EXISTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ OWNER IMMEDIATELY IF ANY SUSPECTED LCBM MATERIALS ARE DISCOVERED. WHERE SUCH ACTIONS ARE REQUIRED, THE ABATEMENT / REMOVAL OF HAZARDOUS AND/ OR LEAD CONTAINING MATERIALS WILL BE HANDLED UNDER A SEPARATE CONTRACT BY THE OWNER. THE LEAD ABATEMENT CONTRACTOR SHALL MARK UP THE AS-BUILT DRAWINGS RESULTING FROM ITS WORK TO INCLUDE AREAS WHERE LEAD WAS ABATED, AREAS WHERE LEAD WAS ENCAPSULATED, AND AREAS WHERE LCBM EXIST BUT WERE LEFT IN PLACE. THE LCBM THAT IS TO REMAIN AND THE NEW NON LEAD-CONTAINING MATERIAL SHALL BE LABELED ACCORDINGLY. THE GENERAL CONTRACTOR SHALL REVIEW AND CERTIFY THE LOCATIONS WHERE LCBM WAS ABATED, AREAS WHERE LCBM WAS ENCAPSULATED AND AREAS WHERE LCBM WAS LEFT IN PLACE AS MARKED ON THE AS-BUILT DRAWINGS AND WILL PROVIDE THE DRAWINGS TO THE ARCHITECT.

DIG NOTICE
CONTACT MISS UTILITY AT 811, 1-800-552-7001, OR HTTP://WWW.MISSUTILITYOFVIRGINIA.COM
NO LESS THAN 72 HOURS PRIOR TO EXCAVATION AND DO NOT DISTURB THE SOIL UNTIL DIG TICKET HAS BEEN PROCESSED

RECORD DRAWINGS
EXISTING CONDITIONS ILLUSTRATED HAVE BEEN DETERMINED FROM ORIGINAL CONSTRUCTION DOCUMENTS AND LIMITED NON-INVASIVE FIELD INVESTIGATION. THE CONTRACTOR SHALL INVESTIGATE FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE AND MAKE ANY NECESSARY ADJUSTMENTS.

DELEGATED DESIGN

11.40.00 - KITCHEN EXTRACTOR HOOD
KITCHEN EXTRACTOR HOOD AND ASSOCIATED MECHANICAL SYSTEMS SHALL BE REPLACED, INCLUDING ALL ASSOCIATED ACCESSORIES, CONTROLS, SUBFRAMING HANGERS AND SUPPORTS AND FIRE SUPPRESSION SYSTEMS. ANY MODIFICATIONS NECESSARY TO THE EXISTING CURB AND ROOF OPENINGS SHALL BE INCLUDED IN THE SCOPE OF WORK. FIELD VERIFY EXISTING CONDITIONS.

CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER, LICENSED IN THE COMMONWEALTH OF VIRGINIA, TO PROVIDE DELEGATED DESIGN DRAWINGS AND CALCULATIONS FOR KITCHEN HOOD SUPPORT FRAMING TO INCLUDING ANY/ALL LOADS IMPOSED ON EXISTING STRUCTURAL STEEL FRAMING. ANY MODIFICATIONS REQUIRED TO THE EXISTING CURBS AND ROOF OPENINGS TO ACCOMMODATE NEW HOOD AND RELATED EQUIPMENT SHALL BE INCLUDED IN THE DELEGATED DESIGN. ANY ADDITIONS OR MODIFICATIONS TO THE EXISTING STRUCTURE SHALL ALSO BE INCLUDED. DELEGATED DESIGN SHALL BE SUBMITTED FOR REVIEW BY CONSULTING STRUCTURAL ENGINEER. REFERENCE SPECIFICATION SECTIONS 054000 "COLD FORMED METAL FRAMING" FOR DELEGATED DESIGN REQUIREMENTS, 055000 "STEEL FABRICATIONS" AND MECHANICAL SPECIFICATIONS AND DRAWINGS.

THIS WORK INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING RESTRICTIONS AND REQUIREMENTS:

THE PROPOSED SEQUENCING OF THE WORK FOR THIS PROJECT SHALL BE PERFORMED AS PER THE PHASES INDICATED IN THESE CONTRACT DOCUMENTS OR AS MODIFIED AND APPROVED BY THE OWNER.

ALTHOUGH THE WORK IS TO BE PERFORMED DURING THE SUMMER MONTHS, THE BUILDING & SITE WILL REMAIN OPEN, OPERATIONAL & ACCESSIBLE TO THE PUBLIC & STAFF DURING REGULAR BUSINESS HOURS THROUGH THE COURSE OF CONSTRUCTION WORK. ALL MAIN PUBLIC AREAS & MEANS OF EGRESS PATHWAYS MUST REMAIN CLEAR AND ACCESSIBLE AT ALL TIMES.

REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL RESTRICTIONS AND REQUIREMENTS. UNLESS OTHERWISE NOTED, ALL WORK INDICATED IN THE CONTRACT DOCUMENTS ARE TO BE INCLUDED IN THE BASE BID.

PARTIAL OWNER OCCUPANCY: OWNER WILL OCCUPY THE PREMISES DURING ENTIRE CONSTRUCTION PERIOD, WITH THE EXCEPTION OF AREAS UNDER CONSTRUCTION. COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH OWNER'S OPERATIONS. MAINTAIN EXISTING EXITS UNLESS OTHERWISE INDICATED.

REFERENCE SHEET LS-101 FOR PHASING PLAN AND ADDITIONAL PHASING REQUIREMENTS.

ADD/ ALTERNATES

ACOUSTICAL SOUND BATT CEILING INSULATION
WHERE NEW CEILINGS ARE BEING INSTALLED IN CLASSROOMS AND CORRIDORS, 4" - 0" OF SOUND BATT INSULATION SHALL BE LAID ABOVE CEILING ON EITHER SIDE OF THE WALL(S) PER THE LOCATIONS INDICATED ON THE ADD ALT 1-ACOUSTIC BATT PLAN. REFERENCE SHEET LS-100 AND SPECIFICATION SECTION 072100 "THERMAL INSULATION"

PROJECT SUMMARY

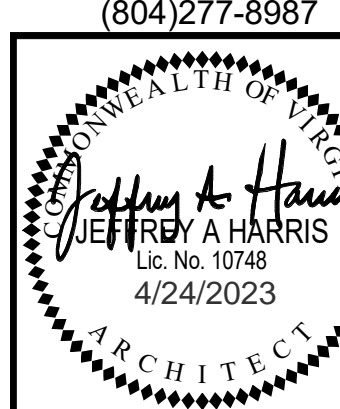
PROJECT CONSISTS OF A PHASED, LEVEL 2 ALTERATION TO THE EXISTING ELEMENTARY SCHOOL TO PROVIDE ACCESSIBLE BATHROOMS, ENERGY EFFICIENT LIGHTING, AND KITCHEN HOOD AND WATER HEATER REPLACEMENT. OPERABLE PARTITIONS DIVIDING CLASSROOMS ARE TO BE REMOVED AND REPLACED WITH STEEL STUD FRAMED WALLS, ACOUSTIC TILE CEILING AND GRID IS TO BE REPLACED THROUGHOUT AND NEW FINISHES PROVIDED WHERE NECESSARY TO ACCOMMODATE THE NEW BATHROOM LAYOUTS AND CLASSROOM WALLS. EXISTING FIRE ALARM, SECURITY SYSTEM, INTERCOMMUNICATION SYSTEM AND OTHER CEILING MOUNTED ITEMS ARE TO BE MAINTAINED IN WORKING CONDITION AND REINSTALLED TO MATCH EXISTING CONDITIONS.

- DESIGN STUDENT OCCUPANT LOAD IS 460 STUDENTS WITH 90 STAFF. (TOTAL 550 DESIGN).
- CODE OCCUPANT LOAD IS 2,225 MAX. ALL EGRESS COMPONENTS INCLUDING BUT NOT LIMITED TO STAIRS AND EXITS ARE TO REMAIN UNALTERED.

DATE	PROJECT	DESIGNED	AV	MP
04/24/2023	21215-00	AV	MP	
		DRAWN	AV / OP	MP
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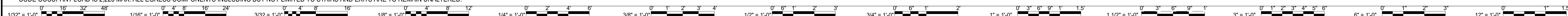
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		CHECKED		

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04/24/2023	21215-00	AV	MP	
		DRAWN	AV / OP	MP
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PROJECT
 DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 DRAWING
 TITLE SHEET

SHEET
G-001



PHASING SUMMARY

THE DESCRIPTIONS BELOW AND THE PHASING DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS ARE CONCEPTUAL IN NATURE AND ARE PROVIDED TO THE CONTRACTOR TO DELINEATE REQUIRED SCHEDULE MILESTONES AND GENERAL PROJECT SCOPE FOR PHASED CONSTRUCTION ACTIVITIES AND SEQUENCE OF THE WORK. THE CONTRACTORS INPUT ON PHASING, INCLUDING BUT NOT LIMITED TO, ACTIVITIES, SEQUENCE, SCHEDULED DURATIONS, AND REQUIRED SUBSTANTIAL COMPLETION(S) OF EACH PHASE MAY BE CONSIDERED. THE PHASING PLANS INCLUDED ARE BASED UPON THE BUILDING BEING OCCUPIED BY STAFF ONLY AND WORK BEING PERFORMED DURING SUMMER ONLY. ANY SUCH WORK OUT OF SEQUENCE SHALL BE REVIEWED AND APPROVED BY THE OWNER AND THE AUTHORITY HAVING JURISDICTION BEFORE COMMENCING WITH THE ALTERED PHASING PLAN WORK.

THE CONTRACTOR IS TO SUBMIT DETAILED PHASING PLANS AND DETAILED CONSTRUCTION SCHEDULES FOR EACH PHASE TO DEMONSTRATE INTENT AND SEQUENCE OF OPERATIONS INCLUDING, BUT NOT LIMITED TO, DETAILED PLANS, WITH DESCRIPTIONS OF ACTIVITIES, BUILDING LIFE SAFETY, SCHEDULES AND DETAILS. THE CONTRACTOR IS REQUIRED TO REVIEW PHASING PLANS WITH THE OWNER AND SUBMIT PHASING PLANS TO THE AUTHORITY HAVING JURISDICTION AND HAVE APPROVAL PRIOR TO PROCEEDING WITH COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND AT THE BEGINNING OF EACH PHASE OF THE WORK.

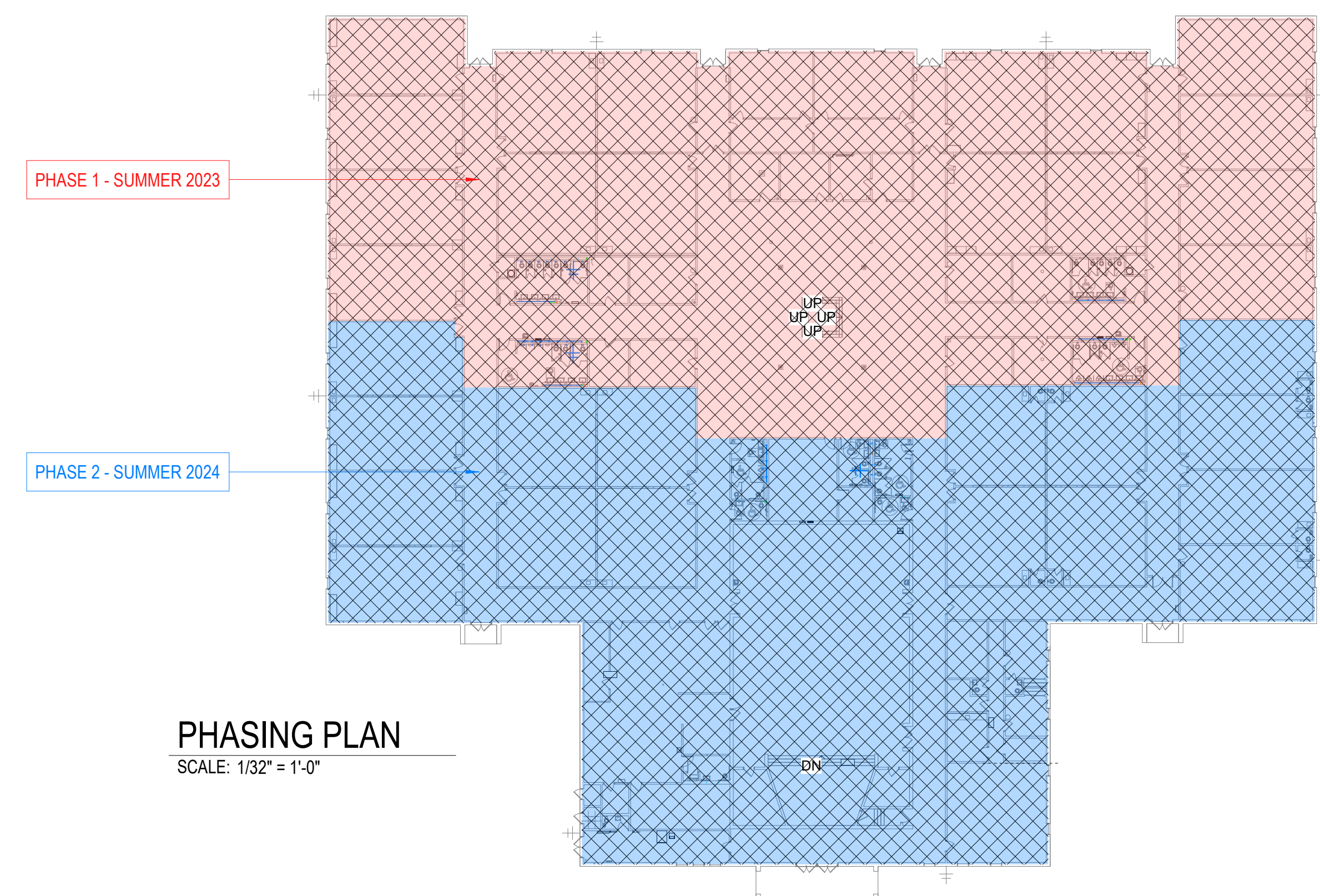
THE CONTRACTOR SHALL CONTACT (AND RECEIVE APPROVAL) FROM THE OWNER AND THE OWNER'S REPRESENTATIVE, PRIOR TO SHUTTING DOWN (OR AFFECTING) ANY EXISTING BUILDING OR SITE OPERATIONS (INCLUDING BUILDING USE/SYSTEMS, ACCESS, UTILITIES, VEHICULAR TRAFFIC ETC). THESE INTERRUPTIONS SHALL BE KEPT AT A MINIMUM AND SHALL BE INCLUDED IN THE CONTRACTOR'S PHASING PLANS.

PHASING WORK DATES AND DESCRIPTION

DATES PROVIDED ARE SUBJECT TO CHANGE AND ARE APPROXIMATE:

PHASE 1 - START DATE: MAY 30, 2023. SUBSTANTIAL COMPLETION: AUGUST 6TH, 2023
REMOVAL AND REPLACEMENT OF ACT GRID AND TILE AND LIGHTS IN THE BLUE HIGHLIGHTED AREA. REMOVAL AND REPLACEMENT OF MAIN ELECTRICAL PANEL AND SUB PANELS IN PHASE 1 AREA AND HOT WATER HEATER IN THE MECHANICAL ROOM. KITCHEN HOOD REMOVAL AND REPLACEMENT. DEMOLITION AND RECONSTRUCTION OF HALLWAY BATHROOMS AND TEACHER'S LOUNGE AS SHOWN. DEMOLITION OF ACCORDIAN WALL DIVIDERS & INSTALLATION OF STUD/GYP WALLS AT CLASSROOMS.

PHASE 2 - START DATE: MAY 28, 2024. SUBSTANTIAL COMPLETION: AUGUST 4TH, 2024
REMOVAL AND REPLACEMENT OF ACT GRID AND TILE AND LIGHTS IN THE RED HIGHLIGHTED AREA. REMOVAL AND REPLACEMENT OF SUB PANELS AND HOT WATER HEATERS IN THE JANITOR'S CLOSETS. DEMOLITION AND RECONSTRUCTION OF THE GANG BATHROOMS LOUNGE AS SHOWN. DEMOLITION OF ACCORDIAN WALL DIVIDERS & INSTALLATION OF STUD/GYP WALLS AT CLASSROOMS.



PHASING PLAN
SCALE: 1/32" = 1'-0"

S7B		M2	
PARTITION TERMINATION DEEP LEG DEFLECTION TRACK		PARTITION TERMINATION TERMINATE @ 9'-4" A.F.F. (TYP.) BRACE AS REQ'D	
CEILING LINE METAL STUDS @ 16" OC SOUND BATTS		CEILING LINE CMU	
FLOOR LINE 1 LAYER 5/8" ABUSE RESISTANT GYP BD EACH SIDE		FLOOR LINE	
ACTUAL DIMENSION 'X'	7 1/4"	ACTUAL DIMENSION 'X'	5 5/8"
STUD SIZE	6"	STUD SIZE	-
CMU SIZE	-	CMU SIZE	5 5/8"

PARTITION TYPES

NOT TO SCALE

PARTITION TYPE NOTES

- PARTITION TERMINATION LOCATION & CONDITIONS MAY VARY. REFER TO REFLECTED CEILING PLANS FOR PARTITION TERMINATION LEGEND AND THIS SHEET FOR TYPICAL TERMINATION DETAILS.
- PARTITION TYPES DO NOT INCLUDE ALL APPLIED FINISHES. REFER TO FINISH SCHEDULE.
- SEE FLOOR PLANS FOR DIMENSIONS OF PARTITIONS.
- THROUGH BOLT ANGLE BRACE TO HIGH SIDE WALL. BOLT ANGLE BRACE TO CONC FILLED CORE AT TOP OF LOW WALL.
- SEE STRUCTURAL DRAWINGS FOR BRACING OF TOP OF MASONRY PARTITIONS, WHERE PARTITIONS ARE INDICATED TO BE FIRE RATED.
- UL = UNDERWRITERS LABORATORIES.
- FM = FACTORY MUTUAL.
- ALL PARTITION TYPES ARE NON-LOAD BEARING UNLESS NOTED OTHERWISE.

GENERAL PHASING NOTES

- ALL WORKERS ON THE JOB SITE SHALL HAVE ASBESTOS AND OTHER HAZARDOUS MATERIAL AWARENESS TRAINING. CONTRACTOR SHALL COORDINATE AND ASSURE THAT ALL WORKERS COMPLETE THIS TRAINING.
- COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR PHASING. REFER TO ALL FIRE SUPPRESSION, PLUMBING, MECHANICAL, AND ELECTRICAL REQUIREMENTS WITHIN THE CONSTRUCTION DOCUMENTS FOR THE PROVISION OF TEMPORARY VALVING OF PIPING, COOLING, HEATING, AND POWER/DATA FOR THE CONTINUATION OF BUILDING SYSTEM OPERATIONS FOR ENTIRE DURATION OF CONSTRUCTION. THIS INCLUDES REQUIRED POWER OUTAGE FOR THE REPLACEMENT OF ELECTRICAL SWITCHGEAR AND FEEDERS.
- CONTRACTOR SHALL COORDINATE THE WORK WITH DEMOLITION AND NEW WORK PLANS.
- CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH EXPEDITING SHOP DRAWINGS AND PRODUCT DELIVERY IN THE BID.
- CORRIDORS SHALL BE FINISHED OUT PER PHASING AREA. IF A CORRIDOR FALLS IN MULTIPLE PHASE AREAS, IT SHALL BE FINISHED OUT IN THE LAST PHASE OF THAT AREA.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ABATEMENT SCHEDULE AND ALL ELECTRICAL POWER OUTAGES. DURING SUCH POWER OUTAGES, THE CONTRACTOR SHALL PROVIDE SUPPLEMENTARY POWER AS APPROVED BY THE OWNER.
- CONTRACTOR SHALL ACCURATELY LAYOUT NEW FLOOR PENETRATIONS AND SHALL CONTACT THE OWNER TO PERFORM SPOT FLOOR TILE REMOVAL, ASBESTOS REMOVAL AND ASBESTOS CLEANUP, AS REQUIRED.
- WORK IN AREAS WHICH ARE OUTSIDE OF THE CURRENT PHASED AREA OF CONSTRUCTION SHALL NOT BE PERFORMED WHEN THE BUILDING IS OCCUPIED BY STUDENTS OR FACULTY. WORK IN THESE AREAS SHALL BE PERFORMED AFTER SCHOOL HOURS, DURING THE EVENINGS AND ON WEEKENDS AND AS APPROVED BY THE OWNER AND THE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL OF ANY DUCT WORK, FOR POSSIBLE ASBESTOS CONTAINING BUILDING MATERIAL ABATEMENT.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL OF PLASTER MATERIALS OR GYPSUM BOARD CEILINGS, FOR POSSIBLE ASBESTOS CONTAINING MATERIAL ABATEMENT.
- CONTRACTOR SHALL PROVIDE CONSTRUCTION BARRIERS AS REQUIRED TO LIMIT THE MOVEMENT OF DUST FROM EACH PHASED AREA. IN ADDITION, DURING THE SCHOOL YEAR, BARRIERS SHALL SECURE THE WORK AREAS SO AS TO PREVENT THE ENTRY OF NON-CONSTRUCTION PERSONNEL.
- MOVEMENT TO THE NEXT PHASE OF THE PROJECT WILL NOT BE ALLOWED UNTIL ALL WORK FOR THE CURRENT PHASE HAS BEEN COMPLETED, INCLUDING CORRECTION OF ALL PUNCH LIST ITEMS AND AS APPROVED BY THE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROVIDE PORTABLE GENERATOR POWER TO PROVIDE UNINTERRUPTED POWER 24 HOURS A DAY, 7 DAYS A WEEK. THE GENERATOR SHALL BE PROVIDED FROM THE TIME THE BUILDING POWER IS TURNED OFF, TILL THE BUILDING POWER IS TURNED BACK ON. THIS POWER IS FOR THE USE OF GENERAL CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROVIDE PORTABLE GENERATOR POWER TO PROVIDE UNINTERRUPTED POWER 24 HOURS A DAY, 7 DAYS A WEEK. THE GENERATOR SHALL BE PROVIDED FROM THE TIME THE BUILDING POWER IS TURNED OFF, TILL THE BUILDING POWER IS TURNED BACK ON. THIS POWER IS FOR THE USE OF THE OWNER'S ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL INCLUDE WITHIN EACH PHASE DURATION TIME IN THE SCHEDULE OWNER RELOCATION OF FURNISHINGS, EQUIPMENT AND FIXTURES FROM THE AREA OF WORK. ALL PERMIT REVIEWS, INSPECTIONS AND APPROVALS, HAZARDOUS MATERIAL REMOVAL, ALL REQUIRED RENOVATIONS AND NEW WORK AND ALL PUNCHLIST WORK AND TESTING AND BALANCING OF REGISTERS AND DIFFUSERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REVIEW FEES, ENGINEERING, PERMITS, INSPECTIONS, AND ANY OTHER COSTS THAT MAY BE REQUIRED BY THE AHJ.
- ALL NEW BUILDING SYSTEMS EQUIPMENT: EXPEDITED SHOP DRAWING SUBMITTALS, REVIEWS, AND APPROVALS ARE REQUIRED FOR ALL BUILDING SYSTEM EQUIPMENT AND IS CRITICAL TO THE TIMELY COMPLETION OF EACH PHASE OF WORK. THE OWNER AND A/E WILL ASSIST WITH THESE EXPEDITED EFFORTS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHERE FLOOR SLAB REPLACEMENT IS OCCURRING AND SHALL EXERCISE WITH CARE THE REMOVAL OF CONCRETE SLABS AND TO NOT DAMAGE EXISTING UNDERGROUND UTILITIES IN THE AREA OF REMOVAL. CONCRETE SLABS ARE TO BE CUT NO MORE THAN 3 1/2 INCHES AND THEN BROKEN INTO SMALLER PIECES FOR REMOVAL.

COORDINATION WITH OCCUPANTS

- MAINTAIN ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
- PROVIDE NOT LESS THAN SEVENTY-TWO (72) HOURS NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNER'S OPERATIONS, INCLUDING BUT NOT LIMITED TO, BUILDING SYSTEMS (HVAC, PLUMBING, ELECTRICITY AND IT SYSTEMS), OWNER LIMITED OCCUPANCY OF COMPLETED AREAS OF CONSTRUCTION.
- THE OWNER RESERVES THE RIGHT TO OCCUPY AND TO PLACE AND INSTALL EQUIPMENT IN COMPLETED PORTIONS OF THE WORK, PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK. SUCH PLACEMENT OF EQUIPMENT AND LIMITED OCCUPANCY SHALL NOT CONSTITUTE ACCEPTANCE OF THE TOTAL WORK.
 - ARCHITECT WILL PREPARE A CERTIFICATE OF SUBSTANTIAL COMPLETION FOR EACH PHASE OF THE WORK TO BE OCCUPIED PRIOR TO OWNER ACCEPTANCE OF THE COMPLETED WORK.
 - OBTAIN A CERTIFICATE OF OCCUPANCY FROM AUTHORITIES HAVING JURISDICTION BEFORE LIMITED OWNER OCCUPANCY.
 - BEFORE LIMITED OWNER OCCUPANCY, SPRINKLER, FIRE ALARM, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE FULLY OPERATIONAL, AND REQUIRED TESTS AND INSPECTIONS SHALL BE SUCCESSFULLY PERFORMED AND APPROVED BY THE AUTHORITIES HAVING JURISDICTION. ON OCCUPANCY, OWNER WILL OPERATE AND MAINTAIN THE FIRE ALARM, MECHANICAL AND ELECTRICAL SYSTEMS SERVING OCCUPIED PORTIONS OF WORK.
 - UPON OCCUPANCY, OWNER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE AND CUSTODIAL SERVICE FOR OCCUPIED PORTIONS OF WORK.

SYSTEM PHASING NOTES

GENERAL

- THE EXISTING BUILDING SYSTEMS ARE TO REMAIN FULLY OPERATIONAL UNTIL THE NEW BUILDING SYSTEMS ARE COMPLETED, INSPECTED AND APPROVED BY THE OWNER AND THE AUTHORITY HAVING JURISDICTION.
- THE AUTHORITY HAVING JURISDICTION (AHJ) WILL REQUIRE THE CONTRACTOR TO PROVIDE SUBMITTALS FOR EACH PHASE OF THE PHASING PLAN OF THE PROJECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH THE WORK OF EACH PHASE.
- REFER TO FIRE ALARM SYSTEM PHASING NOTES FOR SIMILAR PERMITTING AND SUBMITTAL REQUIREMENTS.
- THE CONTRACTOR SHALL PLAN AND SCHEDULE ALL WORK TO OCCUR AT SUCH TIMES SO AS TO NOT INTERFERE WITH OR AFFECT NORMAL SCHOOL OPERATIONS AND ACTIVITIES. COORDINATE WORK HOURS WITH THE SCHOOL THROUGH THE OWNER'S PROJECT REPRESENTATIVE, FOR THE DURATION OF THE PROJECT. CONTRACTOR ACKNOWLEDGES AND AGREES THAT ITS ACTIVITIES MAY BE SUBJECT TO SPECIAL NOISE AND OTHER RESTRICTIONS DURING PERIODS OF STANDARDIZED TESTING, INCLUDING, BUT NOT LIMITED TO, STANDARD OF LEARNING ("SOL") TESTING AND HAS ACCOUNTED FOR SUCH RESTRICTIONS IN ITS SCHEDULE.

FIRE PROTECTION

- THE CONTRACTOR IS REQUIRED TO PROVIDE A CONTINUOUS FIRE WATCH DURING AND AFTER WELDING OPERATIONS WITH THE USE OF PORTABLE FIRE EXTINGUISHERS.
- REFER TO SECTION 001510 "CONTRACTOR'S USE OF PREMISES" FOR ADDITIONAL FIRE PROTECTION REQUIREMENTS.

INTER COMMUNICATIONS

- THE EXISTING SYSTEM SHALL REMAIN IN OPERATION THROUGHOUT THE CONSTRUCTION PROJECT.
- DURING EACH PHASE AND AFTER CEILING DEMOLITION, SECURELY SUSPEND ANY EXISTING ABOVE CEILING LOOSE-HANGING CABLING FROM ALL DEVICES BACK TO HEAD END UNITS IN IDF'S AND MDF. REINSTALL SPEAKERS, CALL BOXES AND OTHER DEVICES.
- THE CABLING AND DEVICES SHALL BE TESTED AT THE END OF EACH PHASE AND ANY CORRECTIVE WORK NEEDED TO PROVIDE A FULLY FUNCTION SYSTEM TAKEN PRIOR TO THE END OF EACH PHASE.

SECURITY/INTRUSION SYSTEMS

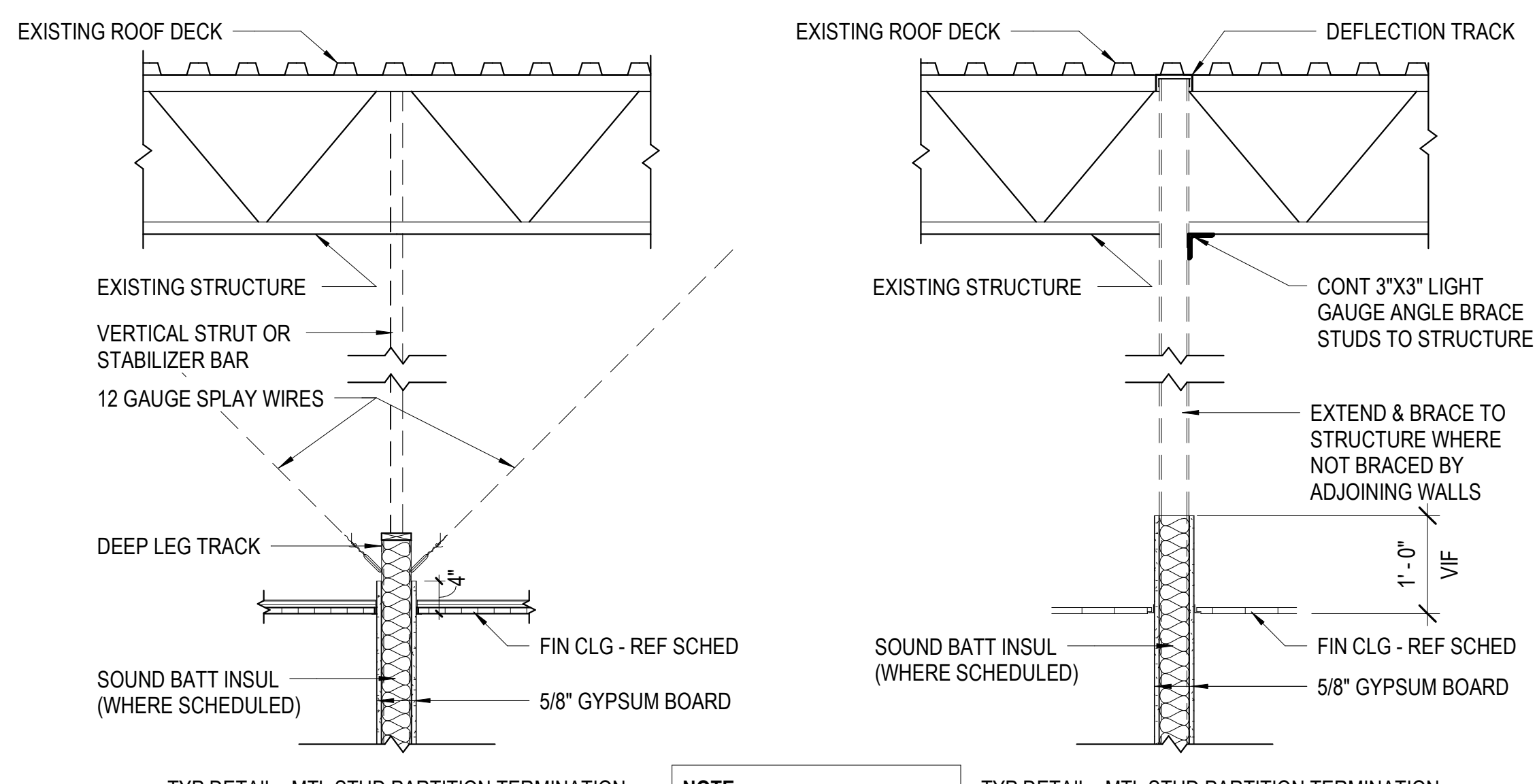
- THE EXISTING CCTV SYSTEM SHALL REMAIN IN OPERATIONAL CONDITION THROUGHOUT THE CONSTRUCTION PROJECT.
- THE CABLING AND DEVICES SHALL BE TESTED AT THE BEGINNING AND END OF EACH PHASE. FOLLOWING EACH TEST A REPORT SHALL BE ISSUED IN WRITING TO THE OWNER AND ARCHITECT LISTING THE CONDITION AND FUNCTIONALITY OF EACH DEVICE AND CABLING RUN.
- SECURE ANY EXISTING, LOOSE-HANGING CABLING ABOVE CEILING. SECURE DEVICES OUT OF HARMS WAY AND PROTECT CAMERAS THROUGHOUT CONSTRUCTION.
- DURING EACH PHASE, REINSTALL CAMERAS AND COORDINATE WITH OWNER'S SECURITY REPRESENTATIVE TO MAKE ANY ADJUSTMENTS NECESSARY TO RESTORE FULL FUNCTIONALITY TO THE SYSTEM PRIOR TO THE END OF THE PHASE.

DATA/VOICE

- SECURE ANY EXISTING, LOOSE-HANGING CABLING ABOVE CEILING.

FIRE ALARM SYSTEM

- THE AUTHORITY HAVING JURISDICTION (AHJ) MAY REQUIRE THE CONTRACTOR TO OBTAIN FIRE ALARM PERMIT AND REQUIRED SUBMITTALS FOR EACH PHASE OF THE CONSTRUCTION PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF ANY AND ALL REVIEW FEES, ENGINEERING, PERMITS, INSPECTION COSTS, AND ANY OTHER COST THAT MAY BE REQUIRED BY THE AHJ.
- CONTRACTOR SHALL PROVIDE ALL CONDUITS, JUNCTION BOXES, WIRING, CONTROL PANELS, DETECTORS, HORNS, AND PULL STATIONS, MECHANICAL AND TEMPERATURE CONTROL SYSTEMS INTERFACE DEVICES, AND ALL OTHER ACCESSORIES REQUIRED TO INSTALL A FIRE ALARM SYSTEM AS HEREAFTER SPECIFIED AND AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ALL APPLICABLE CODES. SYSTEM SHALL BE INSTALLED, CONNECTED, TESTED, AND APPROVED BY AHJ (FIRE MARSHAL) AND LEFT IN FIRST CLASS OPERATING CONDITION.



METAL STUD PARTITION TERMINATION DETAILS

SCALE: 3/4" = 1'-0"

NOTE:
REFER TO FLOOR PLANS
FOR PARTITION TYPE

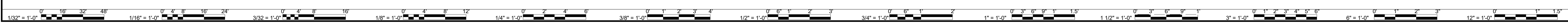
DESCRIPTION	BY	MARK	DATE	REVISIONS

DATE	PROJECT	DESIGNED	AV	DRAWN	AV / QP	CHECKED	MP
04/24/2023	2121215-00						



DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 PHASING PLAN & NOTES
 PROJECT
 DRAWING

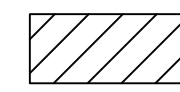
SHEET
LS-101



ASBESTOS ABATEMENT GENERAL NOTES

1. AN ASBESTOS INSPECTION WAS PERFORMED BY FRANCE ENVIRONMENTAL, INC. (FEI) AND ASBESTOS-CONTAINING MATERIALS (ACM) WERE GENERALLY FOUND IN THE AREAS INDICATED. THE ASBESTOS SURVEY/INSPECTION REPORT IS AVAILABLE TO THE CONTRACTOR(S) FOR THEIR INFORMATION. THE ASBESTOS-CONTAINING MATERIALS SHALL BE REMOVED PRIOR TO ANY OTHER WORK BEING PERFORMED IN THE AREAS.
2. NO ASBESTOS-CONTAINING REPLACEMENT MATERIALS SHALL BE USED ON THIS PROJECT.
3. LOCATIONS OF ACM WHICH WILL BE SHOWN ON THIS DRAWING ARE APPROXIMATE. CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO SUBMITTING THEIR BID PROPOSAL.
4. COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ALL ASBESTOS ACTIVITIES ARE TO BE PERFORMED BY QUALIFIED PERSONNEL LICENSED BY THE COMMONWEALTH OF VIRGINIA.

ASBESTOS ABATEMENT SPECIFIC NOTES



REMOVE AND DISPOSE OF ASBESTOS-CONTAINING VINYL FLOOR TILE AND MASTIC (VFT/M).

ONLY REMOVING/ABATING APPROXIMATELY 1 FEET TO 2 FEET OF VFT/M ON BOTH SIDES OF WALLS.

INTENT OF LIMITED VFT/M ABATEMENT IS FOR PREPARATION FOR NEW ACCENT BAND INSTALLATION.

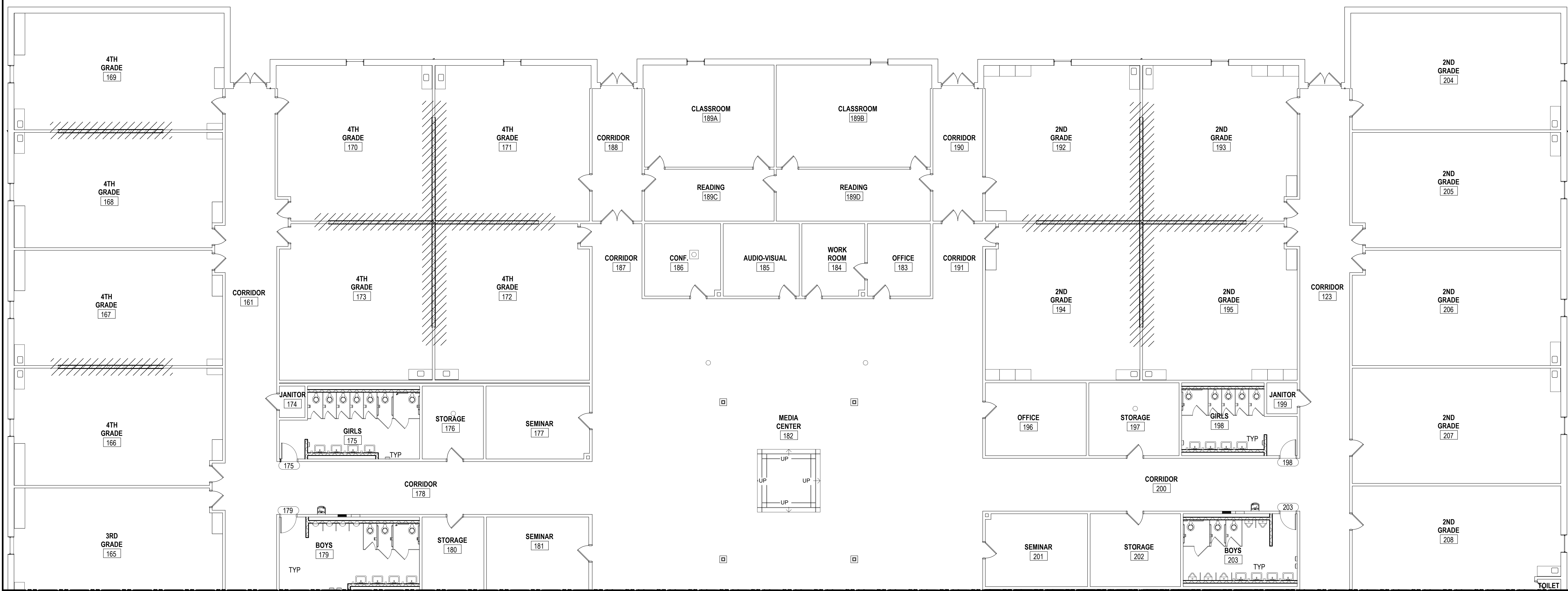


Environmental Consulting Services
 7834 Forest Hill Avenue, Suite 7, Richmond, Virginia 23225
 ph: 804.716.0569 fax: 804.913.7038 web: FranceEnv.com
 Joseph T. France
 VA Asbestos Designer # 3305-000936
 Project: FEI-23SPEC161

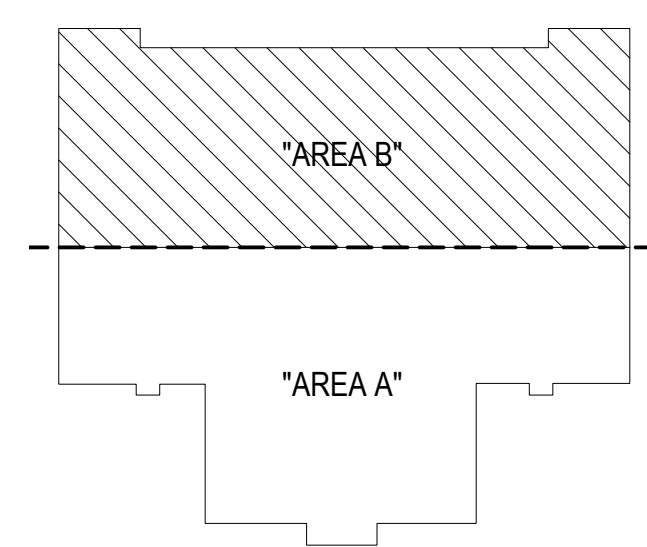
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DATE	PROJECT	DESIGNED	AV	MP
04/24/2023	21215-00			

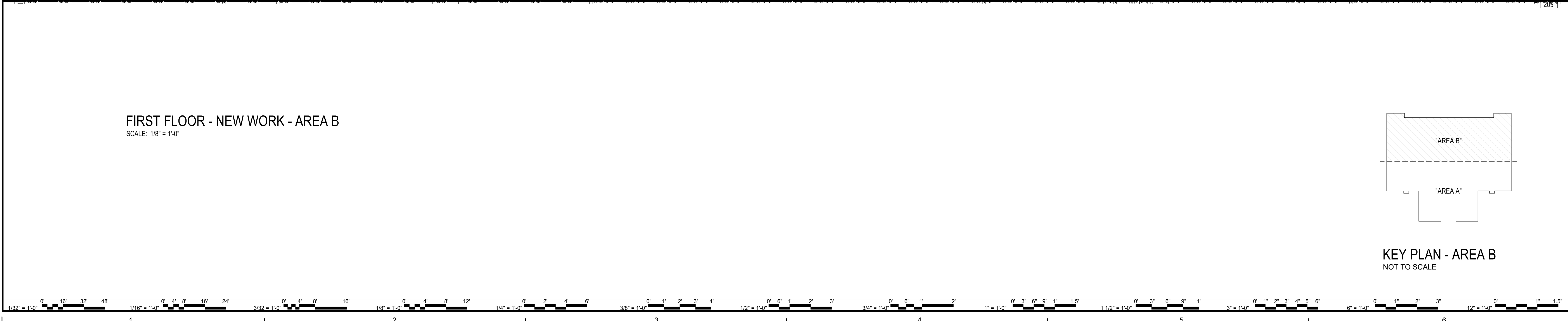
DATE	PROJECT	DESIGNED	AV	MP



FIRST FLOOR - NEW WORK - AREA B
 SCALE: 1/8" = 1'-0"



KEY PLAN - AREA B
 NOT TO SCALE



DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23041
ASBESTOS ABATEMENT
FIRST FLOOR PLAN - AREA B

SHEET
R-102

3/29/2023 10:02:27 AM BIM 360://21215-01 Dinwiddie County Public Schools/21215-01 DCPS Southside ES -ARCH.rvt

GENERAL DEMOLITION NOTES

- WHERE EXISTING EXTERIOR DOORS ARE REMOVED OR WHERE NEW EXTERIOR DOORS ARE BEING PROVIDED, CONTRACTOR SHALL PROVIDE LOCKABLE SECURITY GATES AT ALL AREAS OF CONSTRUCTION UNTIL NEW EXTERIOR DOORS ARE PROVIDED.
- PROVIDE FLOOR-TO-CEILING TEMPORARY DUST PARTITIONS TO CONTAIN DUST FROM DEMOLITION OPERATIONS FROM THE REMAINDER OF THE BUILDING. PARTITION SHALL BE CONSTRUCTED OF WOOD OR MTL STUDS W/ PLASTIC SHEETING W/ LAPPED & TAPED JOINTS FOR DUST PROTECTION.
- COORDINATE DEMOLITION WORK W/ NEW WORK NOTES TO ENSURE PROPER REMOVAL OF ITEMS.
- REMOVE ANY EXISTING CASEWORK, MARKERBOARD OR TACKBOARD. SALVAGE, & TURN OVER TO OWNER.
- REMOVE ANY EXTRANEOUS EXISTING SURFACE-MOUNTED POWER CONDUIT OR DATA RACEWAY. FILL & PATCH MOUNTING HOLES.
- REFER TO SPECIFICATION SECTION 024119 SELECTIVE DEMOLITION FOR FURTHER INFORMATION ON REMOVAL & DISPOSAL.
- PLAN DIMENSIONS FOR EXISTING CONDITIONS ARE TO FACE OF MASONRY OR CENTERLINE OF STRUC FRAMING, UNLESS OTHERWISE NOTED. THICKNESS OF MASONRY BASED ON NOMINAL SIZES. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE: FIELD VERIFY ALL DIMENSIONS.
- ALL DEMOLITION WORK NOTED ON THESE DRAWINGS INVOLVES THE REMOVAL OF EXISTING CONSTRUCTION UNDER THE BASE CONTRACT, & SHALL BE COORDINATED W/ CORRESPONDING NEW WORK FLOOR PLANS & DETAILS. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR FINISH CONSTRUCTION & NEW WORK TO CONFORM TO DETAILS.
- DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY SOMEWHAT FROM THOSE INDICATED IN DRAWINGS. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY, EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED AS REQUIRED BY FIELD CONDITIONS & MEASUREMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING W/ AFFECTED ASPECTS OF CONSTRUCTION OR DEMOLITION.
- THE DEMOLITION DRAWINGS INDICATE MAJOR ITEMS TO BE DEMOLISHED. MISCELLANEOUS ABANDONED CONDUIT, WALL PENETRATIONS (I.E. SCREWS, NAILS, & MASONRY ANCHORS), WOOD BLOCKING, & OTHER VARIOUS ITEMS FASTENED TO EXISTING WALLS MAY NOT BE INDICATED ON THE DRAWINGS. REMOVE SUCH ITEMS THAT ARE NOT USED IN, OR CONCEALED BY, NEW WORK. PATCH & REPAIR DAMAGE TO THE WALLS WHERE SUCH ITEMS ARE REMOVED.
- REMOVE WALL MOUNTED DEVICES & EQUIPMENT AS REQUIRED TO COMPLETE SCOPE OF WORK, INCLUDING (BUT NOT LIMITED TO): BOARDS, PROJECTION SCREENS, INTERACTIVE WHITEBOARD SYSTEMS, SCREENS, SPEAKERS, MARKER BOARDS, TACK BOARDS, FRAMES, TRIM, ANCHORS, & OTHER ASSOCIATED COMPONENTS. PATCH/REPAIR/REP PREP DAMAGED WALL AREAS, READY TO RECEIVE INSTALLATION OF NEW WORK.
- PORTIONS OR ELEMENTS (I.E. DOOR FRAMES) OF WALL SCHEDULED TO BE REMOVED OR SAWCUT & REMOVED SHALL BE DONE SO TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN.
- LIMITS INDICATED FOR DEMOLITION OF EXISTING BRICK & CMU MASONRY ARE APPROXIMATE. REMOVE MASONRY UNITS TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING IN" OF NEW MASONRY TO EXISTING COURSING, UNLESS NOTED OTHERWISE. REFER TO MECH DWGS FOR REMOVAL OF THRU-WALL MECHANICAL GRILLES, REGISTERS, & DUCTWORK. AT MAS WALLS, REMOVE BRICK & CMU TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING-IN" OF INFILL MASONRY TO MATCH EXISTING COURSING.

APPLIES TO AD-101 ; AD-102

- ITEMS IDENTIFIED TO BE SALVAGED ("REMOVE & DELIVER TO OWNER") SHALL BE CAREFULLY REMOVED & DELIVERED TO A STORAGE AREA DESIGNATED BY THE OWNER FOR THIS PURPOSE. ITEMS OWNER CHOOSES TO RETAIN SHALL BE RELOCATED FROM THE STORAGE AREA BY OWNER (NIC). ALL OTHER ITEMS SHALL BE SUBSEQUENTLY REMOVED & DISPOSED OF BY CONTRACTOR WHEN AUTHORIZED BY OWNER.
- EXISTING LOOSE FURNITURE, EQUIPMENT, SUPPLIES, & PERSONAL BELONGINGS LOCATED IN SPACES TO BE RENOVATED SHALL BE REMOVED & RELOCATED BY OWNER (NIC).
- PREPARE FLOOR FOR NEW FINISHES SCHEDULED IN ACCORDANCE W/ MANUF RECOMMENDATIONS FOR FIN SUBSTRATE. FILL VOIDS & CRACKS IN CONCRETE TO PROVIDE SMOOTH FINISH.
- PREPARE WALLS FOR NEW FINISHES AS SCHEDULED, IN ACCORDANCE W/ MANUF RECOMMENDATIONS FOR FIN SUBSTRATE. WHERE WALL MTD ITEMS HAVE BEEN REMOVED, SURFACES SHALL BE SCRAPED, CLEANED, & REPAIRED AS REQ'D TO PROVIDE A CLEAN MONOLITHIC SURFACE READY TO RECEIVE FINISHES.
- CONTRACTOR SHALL FIELD VERIFY & COORDINATE ALL CEILING MOUNTED ITEMS WITH THE NEW ARCHITECTURAL, PLUMBING, MECHANICAL & ELECTRICAL REFLECTED CEILING PLAN DRAWINGS.
- REFER TO PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL ABOVE CEILING WORK THAT MAY BE REQUIRED. ALL EXISTING MATERIALS TO REMAIN WHICH ARE DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTORS OPERATIONS ARE TO BE PATCHED & REPAIRED TO MATCH EXISTING, AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE ALL EXISTING CEILING MOUNTED DEVICES IN THIS AREA, STOW WIRING/CABLING ABOVE CEILING FOR REUSE & IDENTIFY. MARK AREA FOR DEVICE TO BE REINSTALLED. ONCE THE RENOVATION OF THE CEILINGS HAVE BEEN COMPLETED, CLEAN AND REINSTALL DEVICES & RECONNECT TO PREVIOUS STOWED CABLES.

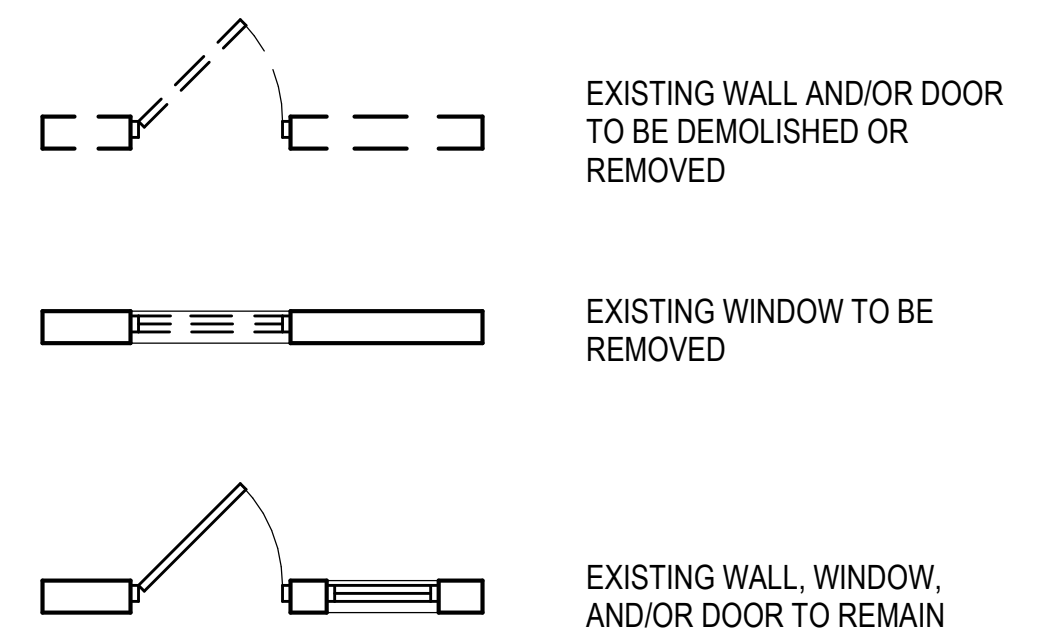
KEY NOTES - DEMOLITION

APPLIES TO AD SHEETS

- REMOVE WALL PARTITION (INCLUDING DOOR, FRAME & ASSOCIATED HARDWARE WITHIN PARTITION - IF APPLICABLE). PATCH & REPAIR ANY DAMAGE TO FLOOR SLAB & INTERSECTING WALLS TO REMAIN.
- REMOVE FOLDING PARTITION WALL. COORDINATE DEMOLITION EXTENTS WITH NEW WORK PLAN. PATCH & REPAIR ANY DAMAGE TO FLOOR SLAB & INTERSECTING WALLS TO REMAIN. REF XXXXXX
- REMOVE DOOR, FRAME, & ASSOCIATED A1/AD-103 COMPLETE. SALVAGE EXISTING DOOR FOR RE-USE. PREP WALLS FOR NEW WORK.
- REMOVE CASEWORK. PATCH & REPAIR ANY DAMAGE TO EXISTING WALLS & FLOOR, PREPARE EXPOSED FLOOR TO RECEIVE NEW FINISH.
- REMOVE FLOOR FINISH COMPLETE. PREP FLOOR TO RECEIVE NEW FINISH.
- REMOVE EXISTING WALL FINISH AND PREPARE TO RECEIVE NEW WORK.
- REMOVE WALL BASE & ANY ITEMS ON WALLS TO PREPARE FOR NEW WORK.
- REMOVE PLUMB FIXTURE(S) COMPLETE & PREPARE FOR NEW WORK. COORDINATE WITH PLUMB DWGS FOR ADDITIONAL INFORMATION & REQUIREMENTS.
- REMOVE TOILET PARTITIONS & TOILET ACCESSORIES COMPLETE. COORDINATE W/ PLUMB DWGS FOR ADDITIONAL INFORMATION & REQUIREMENTS.
- REMOVE CEILING SYSTEM AND ASSOCIATED SUBSTRUCTURE COMPLETE. COORDINATE W/ MECH, ELEC, PLUMB DEMOLITION DWGS
- REMOVE EXTENTS OF EXIST GWB/PLASTER CEILING AS REQUIRED FOR MECH HOOD REPLACEMENT. ENSURE SEAMLESS TRANSITION BETWEEN NEW EXIST WORK. REF DETAIL XXXXXX ; XXXXXX FOR ADDITIONAL INFORMATION.
- HATCHED AREA A6/A-502 A3/A-502NS WHERE DEMOLITION OF THE FLOOR SLAB WILL BE REQUIRED FOR REMOVAL AND REINSTALLATION OF UNDERGROUND PLUMBING WORK AND FOR ACCOMMODATION OF THICKENED SLAB BENEATH NEW MASONRY WALLS. FIELD VERIFY EXACT EXTENTS OF DEMOLITION REQUIRED WITH EXISTING CONDITIONS. REFERENCE PLUMBING DEMOLITION AND NEW WORK DRAWINGS.
- ABATE FLOOR TILE IN PREPARATION FOR NEW ACCENT BAND INSTALLATION. REFERENCE 2/A-601 FOR EXTENTS. REMOVE BASE BOTH SIDE OF WALL - FULL LENGTH TO PERPENDICULAR WALL/SURFACE

LEGEND - DEMO/ NEW

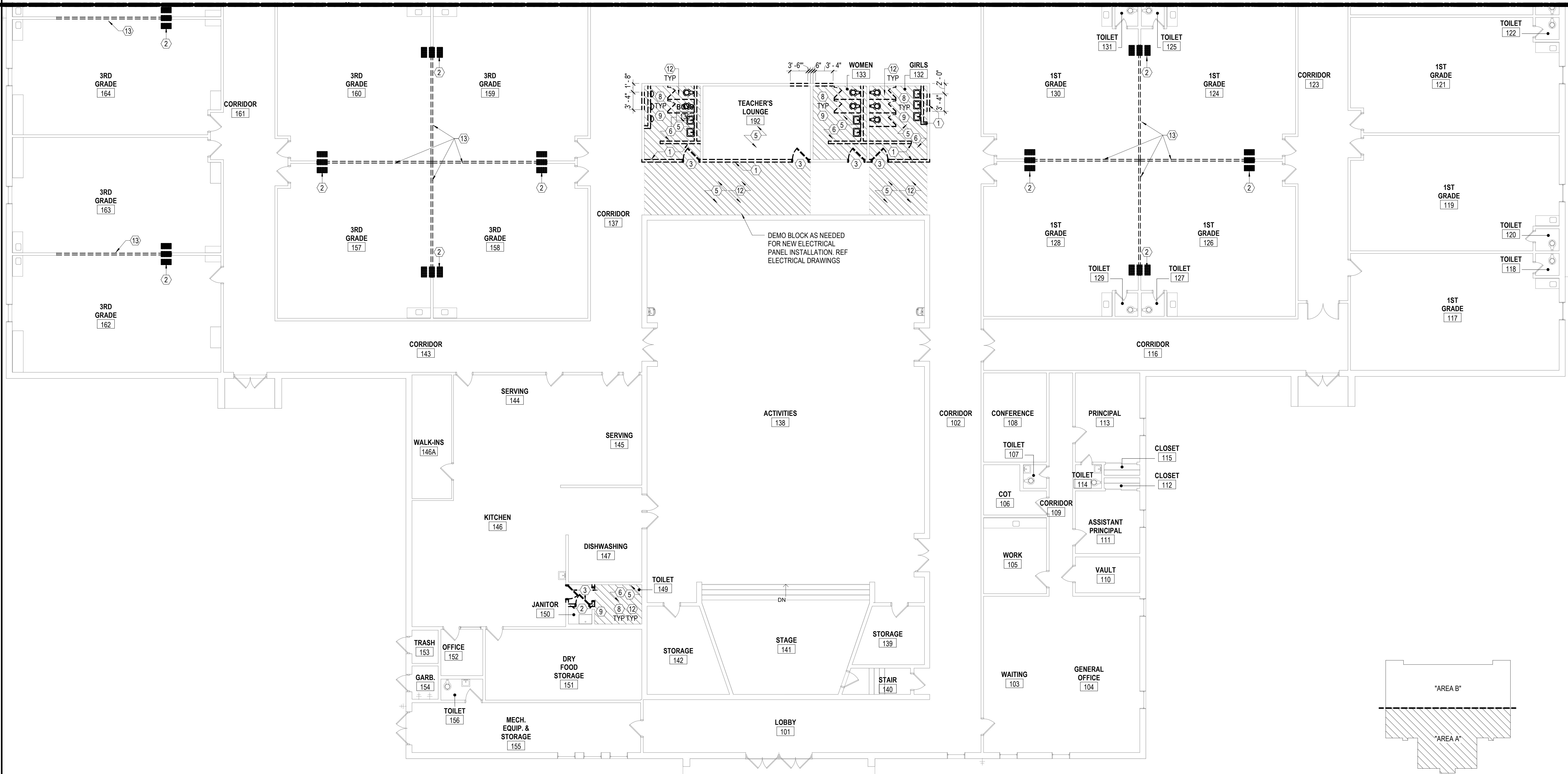
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MARK	DATE	REVISIONS	DESCRIPTION

DATE	PROJECT	DESIGNED	AV	DRAWN	AV / QP	MP
04/24/2023	212125-00					

RRMM ARCHITECTS, PC
 115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804)277-8987



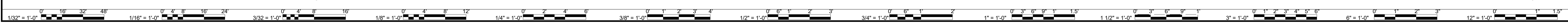
FIRST FLOOR DEMOLITION PLAN - AREA A

SCALE: 1/8" = 1'-0"



KEY PLAN - AREA A

NOT TO SCALE



DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR DEMOLITION PLAN - AREA A

SHEET
AD-101

4/24/2023 10:23:30 AM BIM 360://212125-00 Dinwiddie County Public Schools/212125-00/21 DCPSS Southside ES - ARCH.rvt

GENERAL DEMOLITION NOTES

APPLIES TO **AD-101** ; **AD-102**

- WHERE EXISTING EXTERIOR DOORS ARE REMOVED OR WHERE NEW EXTERIOR DOORS ARE BEING PROVIDED, CONTRACTOR SHALL PROVIDE LOCKABLE SECURITY GATES AT ALL AREAS OF CONSTRUCTION UNTIL NEW EXTERIOR DOORS ARE PROVIDED.
- PROVIDE FLOOR-TO-CEILING TEMPORARY DUST PARTITIONS TO CONTAIN DUST FROM DEMOLITION OPERATIONS FROM THE REMAINDER OF THE BUILDING. PARTITION SHALL BE CONSTRUCTED OF WOOD OR MTL STUDS W/ PLASTIC SHEETING W/ LAPPED & TAPED JOINTS FOR DUST PROTECTION.
- COORDINATE DEMOLITION WORK W/ NEW WORK NOTES TO ENSURE PROPER REMOVAL OF ITEMS.
- REMOVE ANY EXISTING CASEWORK, MARKERBOARD OR TACKBOARD. SALVAGE, & TURN OVER TO OWNER.
- REMOVE ANY EXTRANEOUS EXISTING SURFACE-MOUNTED POWER CONDUIT OR DATA RACEWAY. FILL & PATCH MOUNTING HOLES.
- REFER TO SPECIFICATION SECTION 024119 SELECTIVE DEMOLITION FOR FURTHER INFORMATION ON REMOVAL & DISPOSAL.
- PLAN DIMENSIONS FOR EXISTING CONDITIONS ARE TO FACE OF MASONRY OR CENTERLINE OF STRUC FRAMING, UNLESS OTHERWISE NOTED. THICKNESS OF MASONRY BASED ON NOMINAL SIZES. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.
- ALL DEMOLITION WORK NOTED ON THESE DRAWINGS INVOLVES THE REMOVAL OF EXISTING CONSTRUCTION UNDER THE BASE CONTRACT, & SHALL BE COORDINATED W/ CORRESPONDING NEW WORK FLOOR PLANS & DETAILS. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR FINISH CONSTRUCTION & NEW WORK TO CONFORM TO DETAILS.
- DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY SOMEWHAT FROM THOSE INDICATED IN DRAWINGS. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY, EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED AS REQUIRED BY FIELD CONDITIONS & MEASUREMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING W/ AFFECTED ASPECTS OF CONSTRUCTION OR DEMOLITION.
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- PORTIONS OR ELEMENTS (I.E. DOOR FRAMES) OF WALL SCHEDULED TO BE REMOVED OR SAWCUT & REMOVED SHALL BE DONE SO TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN.
- LIMITS INDICATED FOR DEMOLITION OF EXISTING BRICK & CMU MASONRY ARE APPROXIMATE. REMOVE MASONRY UNITS TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING IN" OF NEW MASONRY TO EXISTING COURSING, UNLESS NOTED OTHERWISE. REFER TO MECH DWGS FOR REMOVAL OF THRU-WALL MECHANICAL GRILLES, REGISTERS, & DUCTWORK. AT MAS WALLS, REMOVE BRICK & CMU TO NEAREST MORTAR JOINTS TO PERMIT "TOOTHING-IN" OF INFILL MASONRY TO MATCH EXISTING COURSING.
- ITEMS IDENTIFIED TO BE SALVAGED ("REMOVE & DELIVER TO OWNER") SHALL BE CAREFULLY REMOVED & DELIVERED TO A STORAGE AREA DESIGNATED BY THE OWNER FOR THIS PURPOSE. ITEMS OWNER CHOOSES TO RETAIN SHALL BE RELOCATED FROM THE STORAGE AREA BY OWNER (NIC). ALL OTHER ITEMS SHALL BE SUBSEQUENTLY REMOVED & DISPOSED OF BY CONTRACTOR WHEN AUTHORIZED BY OWNER.
- EXISTING LOOSE FURNITURE, EQUIPMENT, SUPPLIES, & PERSONAL BELONGINGS LOCATED IN SPACES TO BE RENOVATED SHALL BE REMOVED & RELOCATED BY OWNER (NIC).
- PREPARE FLOOR FOR NEW FINISHES SCHEDULED IN ACCORDANCE W/ MANUF RECOMMENDATIONS FOR FIN SUBSTRATE. FILL VOIDS & CRACKS IN CONCRETE TO PROVIDE SMOOTH FINISH.
- PREPARE WALLS FOR NEW FINISHES AS SCHEDULED, IN ACCORDANCE W/ MANUF RECOMMENDATIONS FOR FIN SUBSTRATE. WHERE WALL MTD ITEMS HAVE BEEN REMOVED, SURFACES SHALL BE SCRAPED, CLEANED, & REPAIRED AS REQ'D TO PROVIDE A CLEAN MONOLITHIC SURFACE READY TO RECEIVE FINISHES.
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- REMOVE ALL EXISTING CEILING MOUNTED DEVICES IN THIS AREA, STOW WIRING/CABLING ABOVE CEILING FOR REUSE & IDENTIFY. MARK AREA FOR DEVICE TO BE REINSTALLED. ONCE THE RENOVATION OF THE CEILINGS HAVE BEEN COMPLETED, CLEAN AND REINSTALL DEVICES & RECONNECT TO PREVIOUS STOWED CABLES.

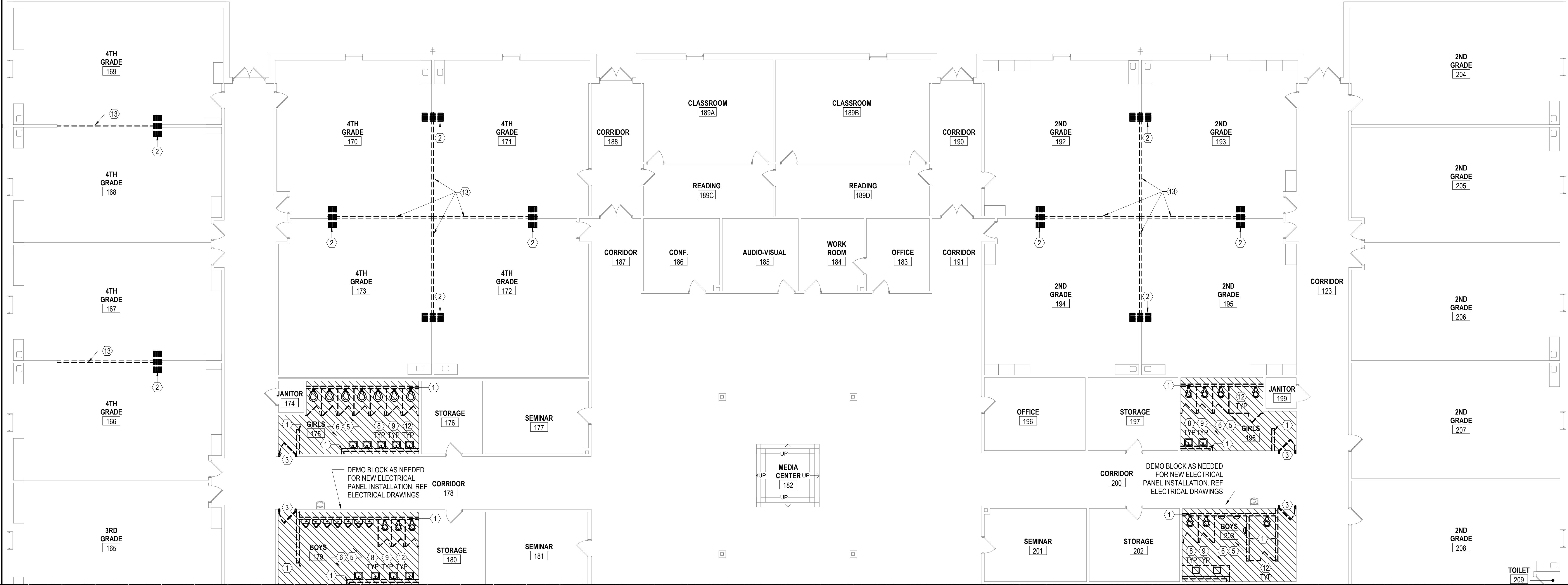
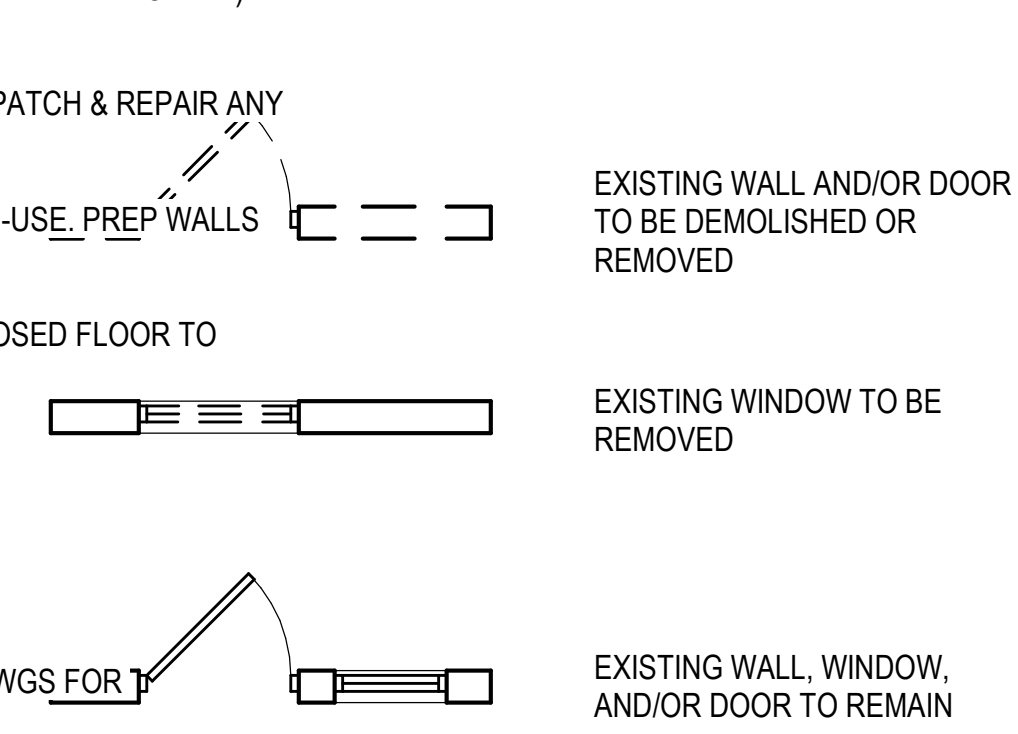
KEY NOTES - DEMOLITION

APPLIES TO **AD SHEETS**

- REMOVE WALL PARTITION (INCLUDING DOOR, FRAME & ASSOCIATED HARDWARE WITHIN PARTITION - IF APPLICABLE). PATCH & REPAIR ANY DAMAGE TO FLOOR SLAB & INTERSECTING WALLS TO REMAIN.
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- REMOVE WALL BASE & ANY ITEMS ON WALLS TO PREPARE FOR NEW WORK.
- REMOVE PLUMB FIXTURE(S) COMPLETE & PREPARE FOR NEW WORK. COORDINATE WITH PLUMB DWGS FOR ADDITIONAL INFORMATION & REQUIREMENTS.
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- REMOVE CEILING SYSTEM AND ASSOCIATED SUBSTRUCTURE COMPLETE. COORDINATE W/ MECH, ELEC, PLUMB DEMOLITION DWGS
- REMOVE EXTENTS OF EXIST GWB/PLASTER CEILING AS REQUIRED FOR MECH HOOD REPLACEMENT. ENSURE SEAMLESS TRANSITION BETWEEN NEW EXIST WORK.
- HATCHED **A/A6/A-502/A-503/A-502**NS WHERE DEMOLITION OF THE FLOOR SLAB WILL BE REQUIRED FOR REMOVAL AND REINSTALLATION OF UNDERGROUND PLUMBING WORK AND FOR ACCOMODATION OF THICKENED SLAB BENEATH NEW MASONRY WALLS. FIELD VERIFY EXACT EXTENTS OF DEMOLITION REQUIRED WITH EXISTING CONDITIONS. REFERENCE PLUMBING DEMOLITION AND NEW WORK DRAWINGS.
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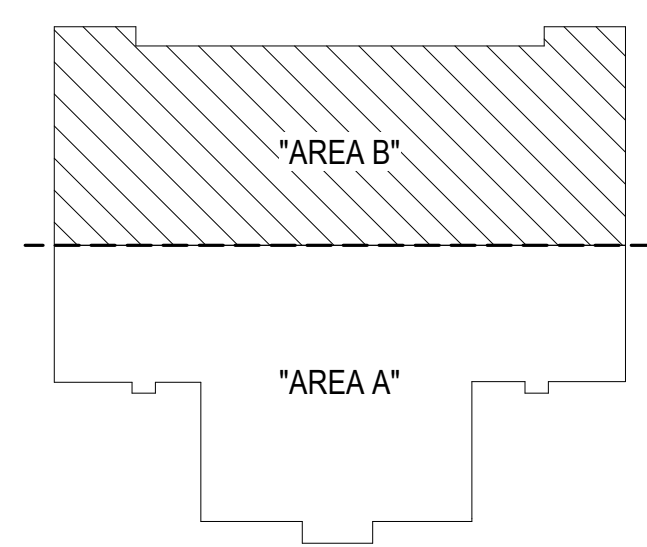
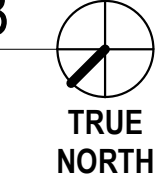
LEGEND - DEMO/ NEW

NOT TO SCALE
IF APPLICABLE



FIRST FLOOR DEMOLITION PLAN - AREA B

SCALE: 1/8" = 1'-0"



KEY PLAN - AREA B

NOT TO SCALE



4/24/2023 10:23:32 AM BIM 360://121215-01 Dinwiddie County Public Schools/21215-00/21 DCPSS Southside ES - ARCH.rvt

MARK	DATE	DESCRIPTION

DATE	PROJECT	DESIGNED	AV	DRAWN	AV / OP	MP
04/24/2023	21215-00					

RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804)277-8987

Jeffrey A. Harris
JEFFREY A. HARRIS
Lic. No. 10748
4/24/2023
ARCHITECT

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
FIRST FLOOR DEMOLITION PLAN - AREA B
 PROJECT
 DRAWING

SHEET
AD-102

GENERAL DEMOLITION NOTES

- WHERE EXISTING EXTERIOR DOORS ARE REMOVED OR WHERE NEW EXTERIOR DOORS ARE BEING PROVIDED, CONTRACTOR SHALL PROVIDE LOCKABLE SECURITY GATES AT ALL AREAS OF CONSTRUCTION UNTIL NEW EXTERIOR DOORS ARE PROVIDED.
- PROVIDE FLOOR-TO-CEILING TEMPORARY DUST PARTITIONS TO CONTAIN DUST FROM DEMOLITION OPERATIONS FROM THE REMAINDER OF THE BUILDING. PARTITION SHALL BE CONSTRUCTED OF WOOD OR MTL STUDS W/ PLASTIC SHEETING W/ LAPPED & TAPED JOINTS FOR DUST PROTECTION.
- COORDINATE DEMOLITION WORK W/ NEW WORK NOTES TO ENSURE PROPER REMOVAL OF ITEMS.
- REMOVE ANY EXISTING CASEWORK, MARKERBOARD OR TACKBOARD. SALVAGE, & TURN OVER TO OWNER.
- REMOVE ANY EXTRANEOUS EXISTING SURFACE-MOUNTED POWER CONDUIT OR DATA RACEWAY. FILL & PATCH MOUNTING HOLES.
- REFER TO SPECIFICATION SECTION 024119 SELECTIVE DEMOLITION FOR FURTHER INFORMATION ON REMOVAL & DISPOSAL.
- PLAN DIMENSIONS FOR EXISTING CONDITIONS ARE TO FACE OF MASONRY OR CENTERLINE OF STRUC FRAMING, UNLESS OTHERWISE NOTED. THICKNESS OF MASONRY BASED ON NOMINAL SIZES. ALL DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION ARE APPROXIMATE. FIELD VERIFY ALL DIMENSIONS.
- ALL DEMOLITION WORK NOTED ON THESE DRAWINGS INVOLVES THE REMOVAL OF EXISTING CONSTRUCTION UNDER THE BASE CONTRACT, & SHALL BE COORDINATED W/ CORRESPONDING NEW WORK FLOOR PLANS & DETAILS. REMOVE EXISTING CONSTRUCTION AS INDICATED FOR FINISH CONSTRUCTION & NEW WORK TO CONFORM TO DETAILS.
- DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY SOMEWHAT FROM THOSE INDICATED IN DRAWINGS. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY, EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED AS REQUIRED BY FIELD CONDITIONS & MEASUREMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING W/ AFFECTED ASPECTS OF CONSTRUCTION OR DEMOLITION.
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- APPLIES TO **AD-101 ; AD-102**
- ITEMS IDENTIFIED TO BE SALVAGED ("REMOVE & DELIVER TO OWNER") SHALL BE CAREFULLY REMOVED & DELIVERED TO A STORAGE AREA DESIGNATED BY THE OWNER FOR THIS PURPOSE. ITEMS OWNER CHOOSES TO RETAIN SHALL BE RELOCATED FROM THE STORAGE AREA BY OWNER (NIC). ALL OTHER ITEMS SHALL BE SUBSEQUENTLY REMOVED & DISPOSED OF BY CONTRACTOR WHEN AUTHORIZED BY OWNER.
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KEY NOTES - DEMOLITION

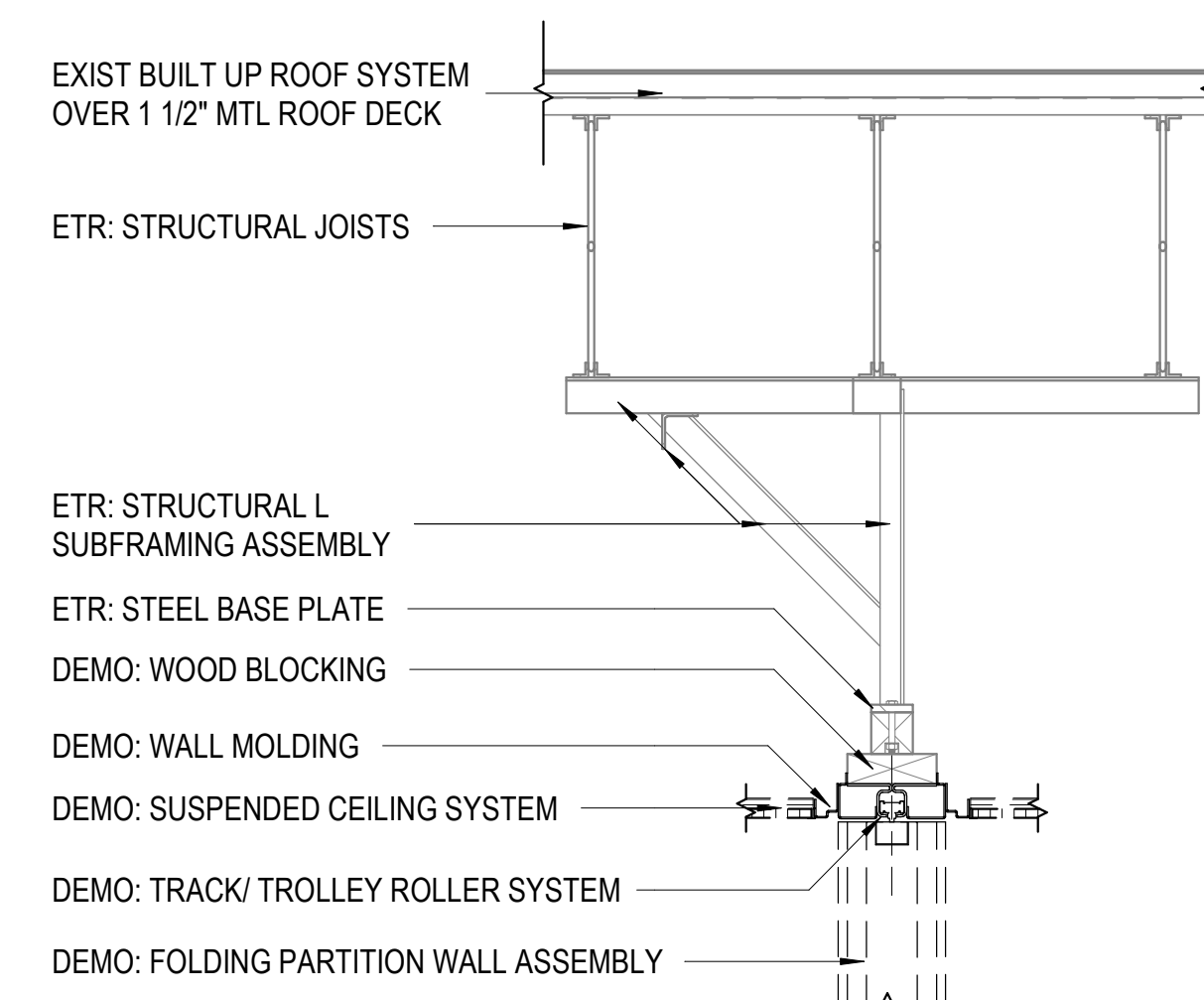
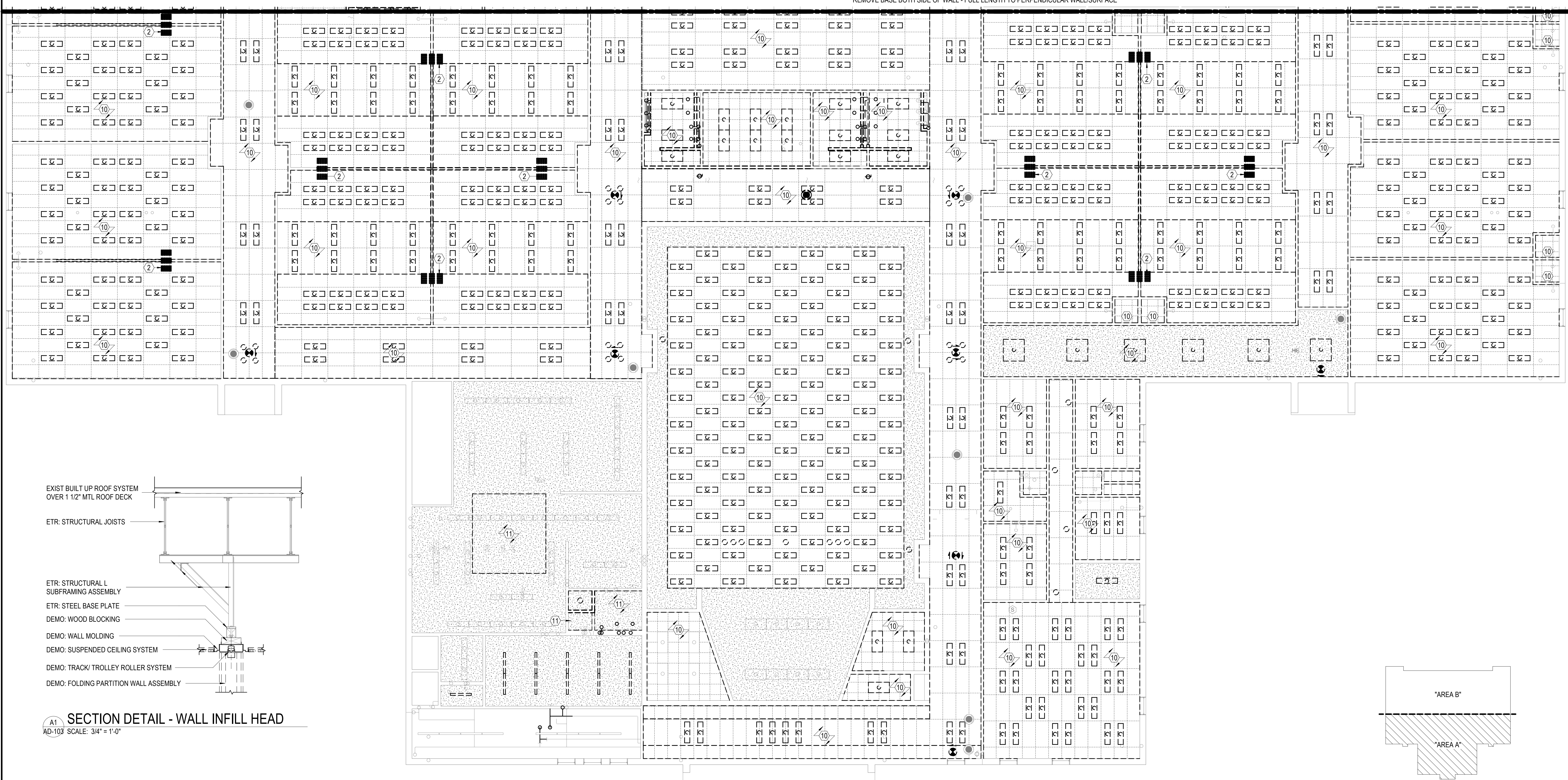
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REFLECTED CEILING PLAN LEGEND

	GYPSUM BOARD OR PLASTER CEILING OR BULKHEAD		DOWN LIGHT
	2'-0" x 2'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		CEILING PROJECTOR MOUNT
	2'-0" x 4'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		SUPPLY DIFFUSER
	ACOUSTICAL BATT INSULATION ON TOP OF DROP CEILING. KEEP INSULATION CLEAR OF ALL LIGHT FIXTURES		RETURN AIR GRILLE
	EXIT LIGHT		CEILING HEIGHT
	TRACK LIGHT, NUMBER INDICATES LENGTH IN FEET		WIRELESS ACCESS DEVICE - REF ELECTRICAL DWGS
	LIGHT FIXTURES		OCCUPANCY SENSOR - REF ELECTRICAL DWGS
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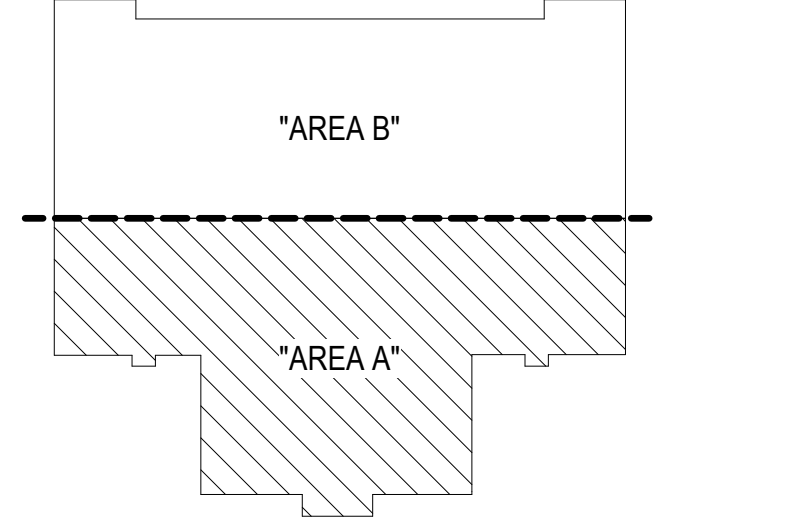
PARTITION TERMINATION LEGEND

	PARTITION WHICH PENETRATES THE CLG & TERMINATES 4" ABOVE FINISHED CLG. UON
--	--



SECTION DETAIL - WALL INFILL HEAD
 A1
 AD-103 SCALE: 3/4" = 1'-0"

FIRST FLOOR RCP DEMOLITION - AREA A
 SCALE: 1/8" = 1'-0"



KEY PLAN - AREA A
 NOT TO SCALE

DATE	04/24/2023	DESIGNED	AV	CHECKED	MP
PROJECT	21215-00	DRAWN	AV / OP		
BY		REVISIONS			
MARK					
DATE					
REVISIONS					

DATE	04/24/2023	DESIGNED	AV	CHECKED	MP
PROJECT	21215-00	DRAWN	AV / OP		

RRMM ARCHITECTS, PC
 115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804)277-8987

Jeffrey A. Harris
 ARCHITECT
 License No. 10748
 4/24/2023

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR CEILING DEMOLITION PLAN - AREA A

PROJECT
 DRAWING

SHEET
AD-103

GENERAL DEMOLITION NOTES

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KEY NOTES - DEMOLITION

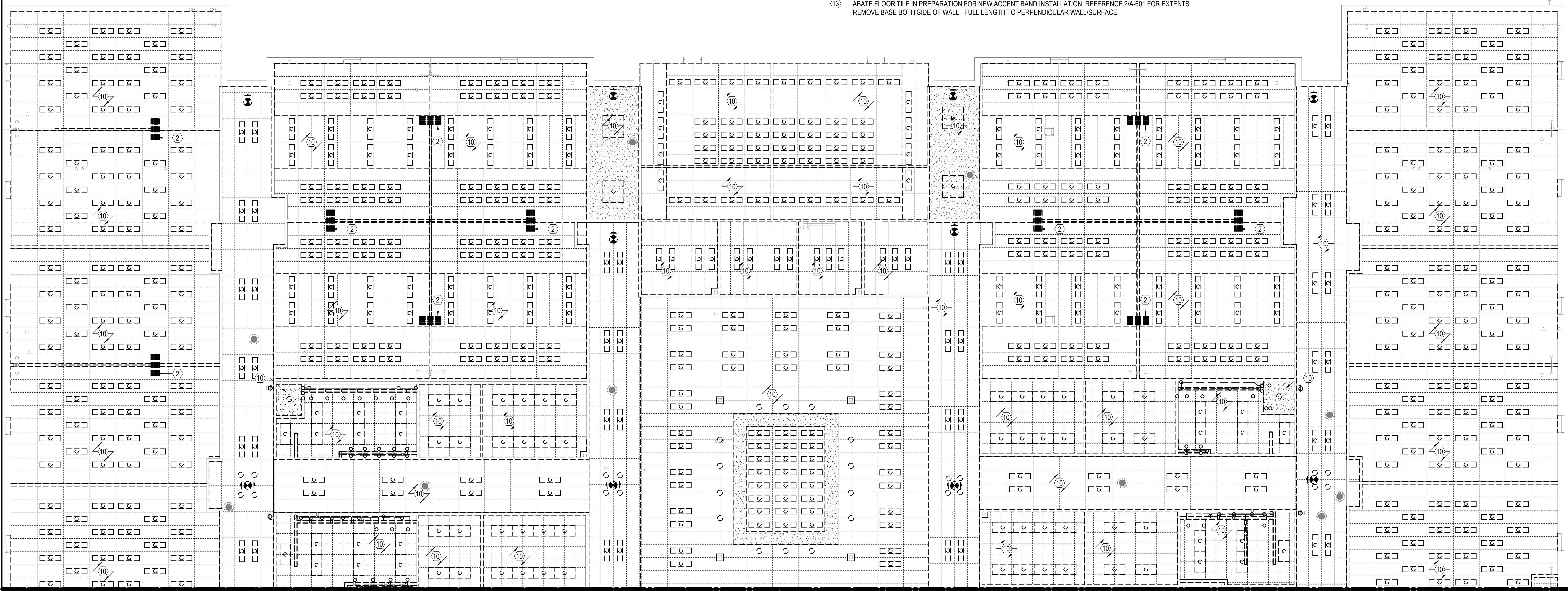
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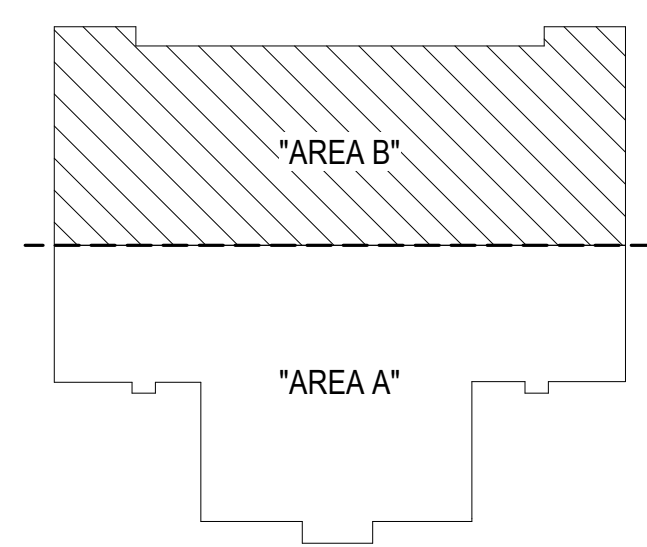
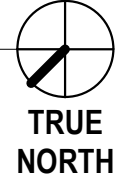
PARTITION TERMINATION LEGEND

PARTITION WHICH PENETRATES THE CLG & TERMINATES 4" ABOVE FINISHED CLG. UON



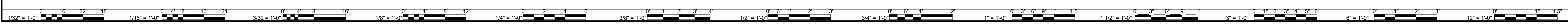
FIRST FLOOR RCP DEMOLITION - EXISTING AREA B

SCALE: 1/8" = 1'-0"



KEY PLAN - AREA B

NOT TO SCALE



DATE	04/24/2023	DESIGNED	AV	DRAWN	AV / OP	CHECKED	MP
PROJECT	21215-00						

RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804)277-8987

Jeffrey A. Harris
L.E. No. 10748
4/24/2023
ARCHITECT

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR CEILING DEMOLITION PLAN - AREA B

PROJECT

DRAWING

SHEET

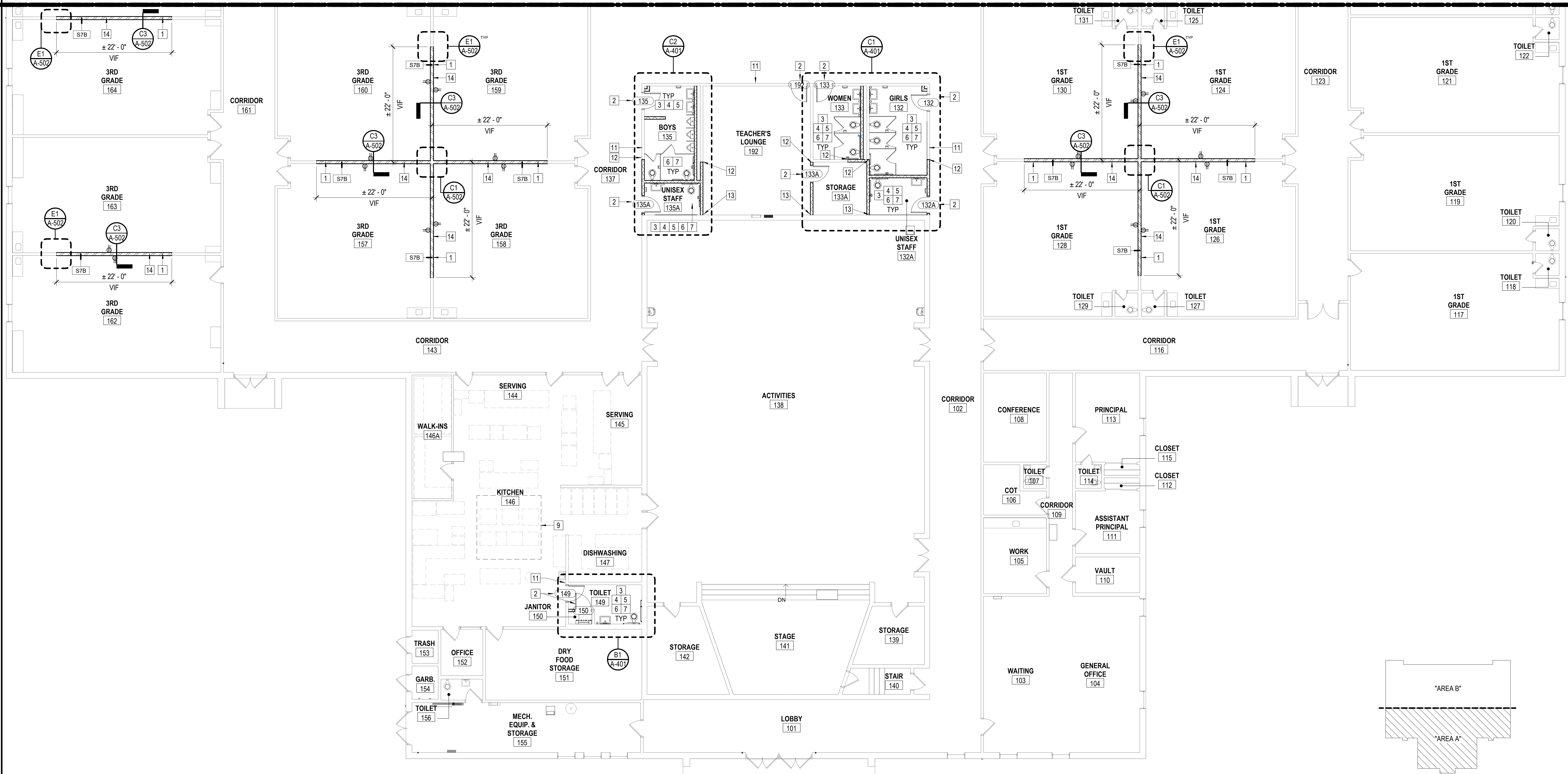
AD-104

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. EXAMINE ALL PLUMBING, MECHANICAL, AND ELECTRICAL DOCUMENTS. MUCH OF THE INFORMATION IS NOT REPEATED OR SHOWN IN THE ARCHITECTURAL DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATIONS AND EXTENT OF INSERTS, ANCHORS, PENETRATIONS, ETC, REQUIRED BY PLUMBING, MECHANICAL AND ELECTRICAL TRADES.
- EXISTING CONSTRUCTION SHOWN HALFTONE FOR CLARITY-TYP UON.
- DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR DETERMINATION OF DIMENSIONAL ADJUSTMENTS.
- PATCH AND REPAIR ALL EXISTING CONCRETE FLOOR SLABS DAMAGED BY DEMOLITION OPERATIONS WITH CONCRETE TO MATCH EXISTING.
- PAINT ALL WALLS WHERE DEMOLITION OCCURRED TO CREATE A SEAMLESS TRANSITION BETWEEN NEW AND EXISTING CONDITIONS.
- PENETRATIONS THROUGH FIRE RATED CONDITIONS SHALL BE CONSTRUCTED AND SEALED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE RATED ASSEMBLY. PIPES, CONDUITS, DUCTS, STRUCTURAL MEMBERS, OR OTHER CONSTRUCTION SHALL BE FIRESTOPPED. FIRESTOPPING SHALL BE PERFORMED USING MATERIALS COMPLYING WITH THE BUILDING CODES AND STANDARDS APPLICABLE TO THIS PRODUCT AS INTERPRETED BY THE BUILDING OFFICIAL(S) HAVING JURISDICTION.
- COORDINATE WITH OWNER FOR LOCATIONS OF CONCEALED BLOCKING IN WALLS. ALL BLOCKING MUST BE FIRE RETARDANT.
- PROVIDE SOLID FIRE RETARDANT TREATED WOOD BLOCKING WITHIN STUD AND FURRING SPACES BEHIND ALL WALL MOUNTED ACCESSORIES, EQUIPMENT, ETC AS REQUIRED.
- AT STUD WALLS, UNLESS OTHERWISE NOTED, DOOR FRAMES ARE TO BE LOCATED 4" FROM NEAREST PERPENDICULAR WALL.
- ALL MODIFICATIONS TO THE EXISTING ONE-HOUR CORRIDOR PARTITIONS SHALL MAINTAIN A ONE HOUR RATING. THE TOP OF THE PARTITIONS MUST BE SEALED TO THE STRUCTURE ABOVE TO MAINTAIN THE ONE HOUR RATING.
- PROTECT AND MAINTAIN INTEGRITY OF ALL INSTALLED EQUIPMENT AND ROOF SYSTEMS DURING THE ENTIRE DURATION OF CONSTRUCTION. PROVIDE ONGOING AND FINAL CLEANING OF ALL ROOF EQUIPMENT & ROOF SYSTEMS, INCLUDING FINAL CLEAN OUT OF ROOF DRAINS AT THE END OF THE PROJECT.
- PROVIDE THICKENED SLAB AT ALL NEW MASONRY WALLS. REFERENCE DETAILS SHEET A-501.
- REMOVE, UNDERCUT AND REPLACE DOORS AS NOTED ON THE MECHANICAL PLANS AS NECESSARY FOR A 3/4" CLEARANCE SPACE.

KEY NOTES - NEW WORK

- NEW WALL, PARTITION TYPE AS SCHEDULED ON PLAN. REF **C3/A-502**
- NEW DOOR, FRAME, & ASSOCIATED HARDWARE.
- NEW FLOOR FINISH, REF FINISH SCHEDULE.
- NEW WALL FINISH, REF FINISH SCHEDULE.
- NEW WALL BASE, REF FINISH SCHEDULE.
- NEW PLUMB FIXTURE(S) - COORDINATE WITH PLUMB DWGS.
- NEW TOILET PARTITIONS & TOILET ACCESSORIES COMPLETE. REF **A-402**
- NEW CEILING SYSTEM AS SCHEDULED, COORDINATE W/ MECH, ELEC, PLUMB DWGS.
- NEW KITCHEN EXTRACTOR HOOD AND ASSOCIATED MECH EQUIPMENT. ENSURE SEAMLESS TRANSITION BETWEEN NEW/EXIST WORK. REF DETAIL **A6/A-502 ; A3/A-502** FOR ADDITIONAL INFORMATION.
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- TOOTH BLOCK INTO EXISTING MASONRY WALL. MATCH BED DEPTH AND JOINT WIDTH FOR SEAMLESS APPEARANCE. (TYP) REFERENCE DETAIL 1/A-501.
- REFERENCE PERPENDICULAR WALL BRACING DETAIL 3/A-501 FOR WALL BRACING THIS LOCATION
- INSTALL VCT ACCENT BAND - BOTH SIDES OF WALL AT ABATED AREAS. REFERENCE 2/A-601. PROVIDE RB1 FULL LENGTH OF WALL BOTH SIDES - TO EXTEND ACROSS EXISTING MASONRY WALL AND NEW GYP/STUD WALL. TYP. AT ALL NEW STUD WALL LOCATIONS
- PAINT EXISTING GYP/PLASTER CEILING AND BULKHEADS, VERTICAL AND HORIZONTAL SURFACES PT2 (TYP.)

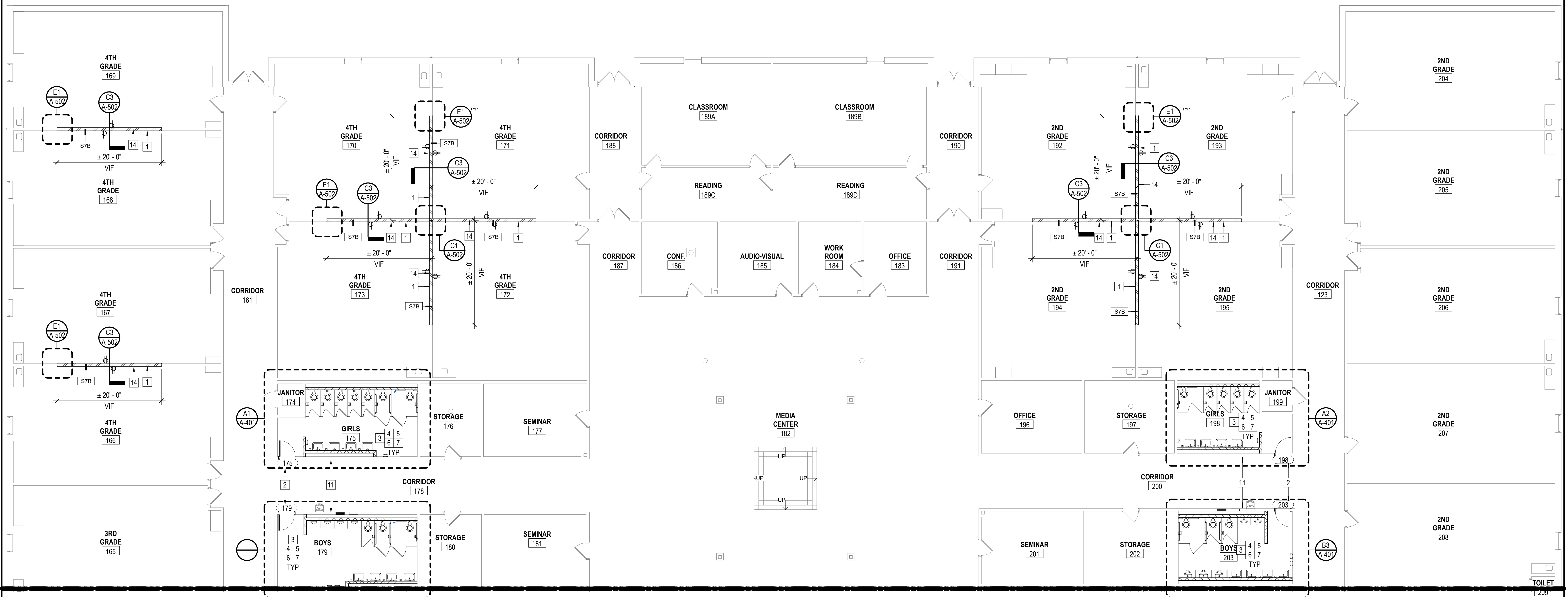


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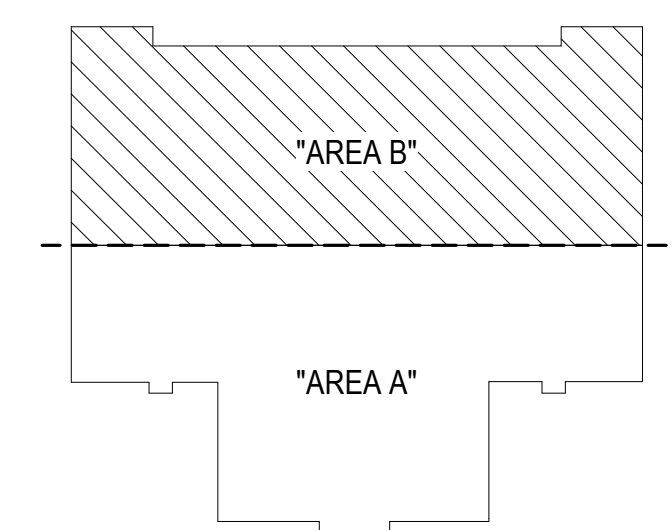
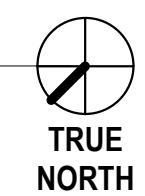
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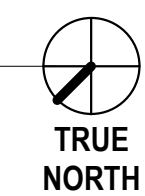
FIRST FLOOR - NEW WORK - AREA B

SCALE: 1/8" = 1'-0"



KEY PLAN - AREA B

NOT TO SCALE



4/24/2023 10:22:59 AM BIM 360://121215-00 Dinwiddie County Public Schools\21215-00\21 DCPSS Southside ES - ARCH.rvt

MARK	DATE	BY	DESCRIPTION

DATE	PROJECT	DESIGNED	DRAWN	AV / QP	MP
04/24/2023	21215-00				

RRMM ARCHITECTS, PC
 115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804)277-8987

Jeffrey A. Harris
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 Lic. No. 10748
 4/24/2023
 ARCHITECT

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
FIRST FLOOR PLAN - AREA B

SHEET
A-102

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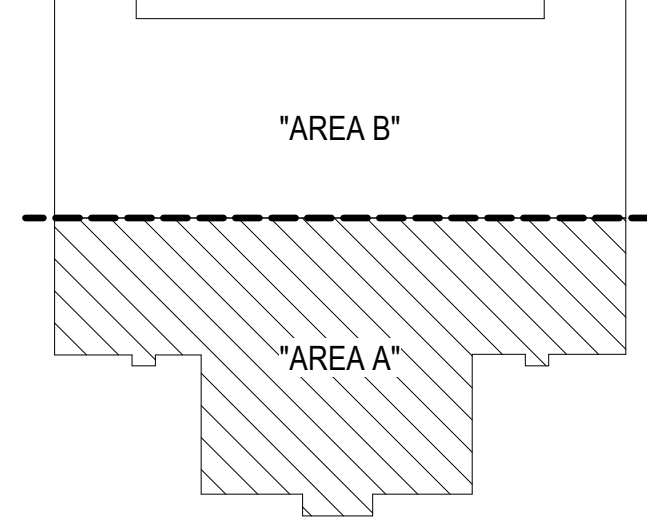
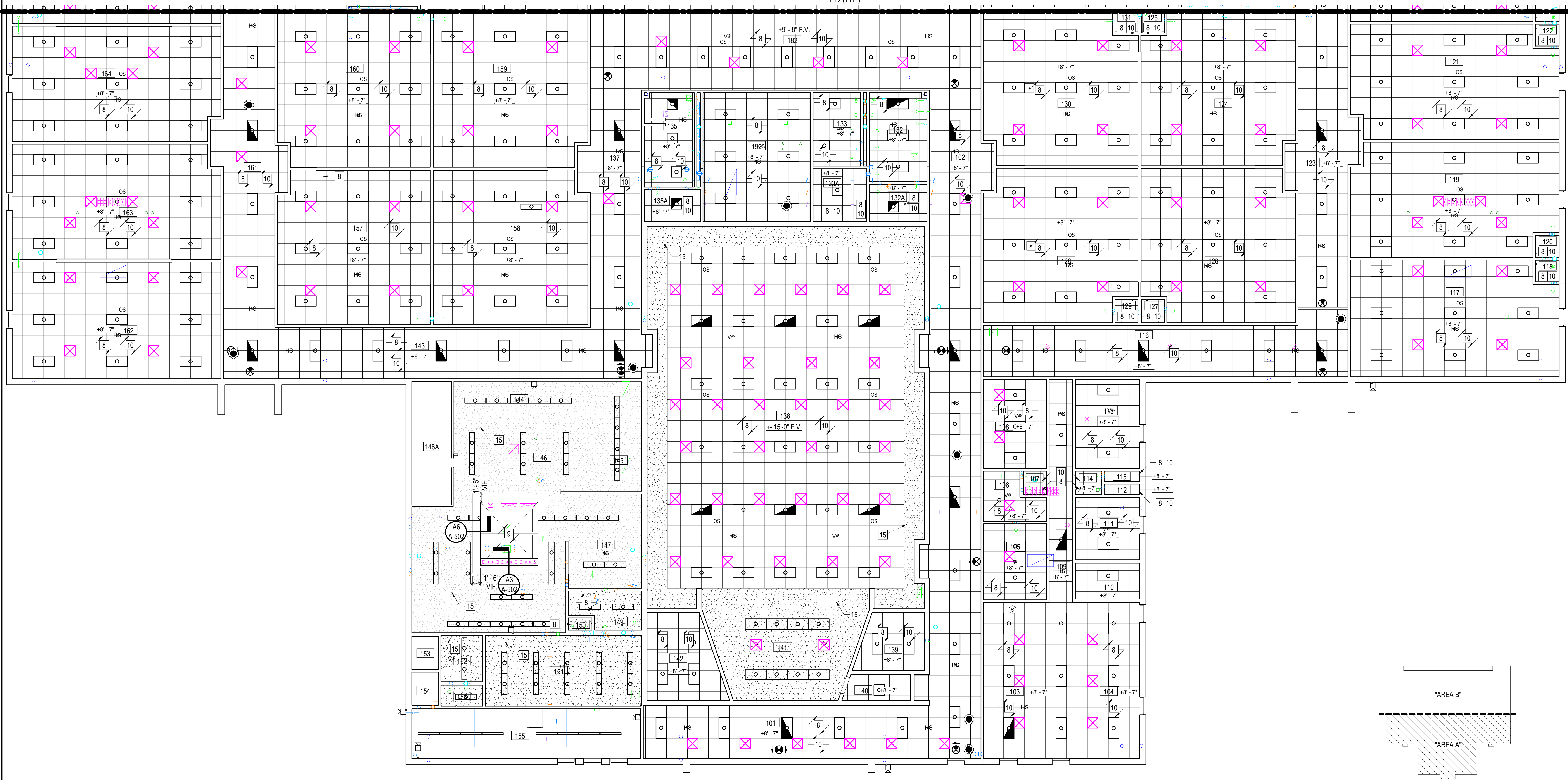
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REFLECTED CEILING PLAN LEGEND

	GYP/PLASTER CEILING OR BULKHEAD		DOWN LIGHT
	2'-0" x 2'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		CEILING PROJECTOR MOUNT
	2'-0" x 4'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		SUPPLY DIFFUSER
	ACOUSTICAL BATT INSULATION ON TOP OF DROP CEILING. KEEP INSULATION CLEAR OF ALL LIGHT FIXTURES		RETURN AIR GRILLE
	EXIT LIGHT		CEILING HEIGHT
	TRACK LIGHT, NUMBER INDICATES LENGTH IN FEET		WIRELESS ACCESS DEVICE - REF ELECTRICAL DWGS
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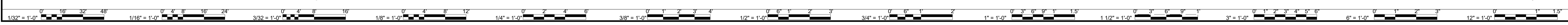
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PARTITION WHICH PENETRATES THE CLG & TERMINATES 4" ABOVE FINISHED CLG. UON



FIRST FLOOR RCP - NEW WORK - AREA A
SCALE: 1/8" = 1'-0"

KEY PLAN - AREA A
NOT TO SCALE



DATE	04/24/2023	DESIGNED	AV	DRAWN	AV / QP	CHECKED	AV
PROJECT	21215-00	 115 South 15 th Street, Suite 202 Richmond, Virginia 23219 (804)277-8987					
PROJECT	DINWIDDIE COUNTY PUBLIC SCHOOLS SOUTHSIDE ELEMENTARY SCHOOL RENOVATION 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841						DRAWING
SHEET	REFLECTED CEILING PLAN - AREA A						A-103

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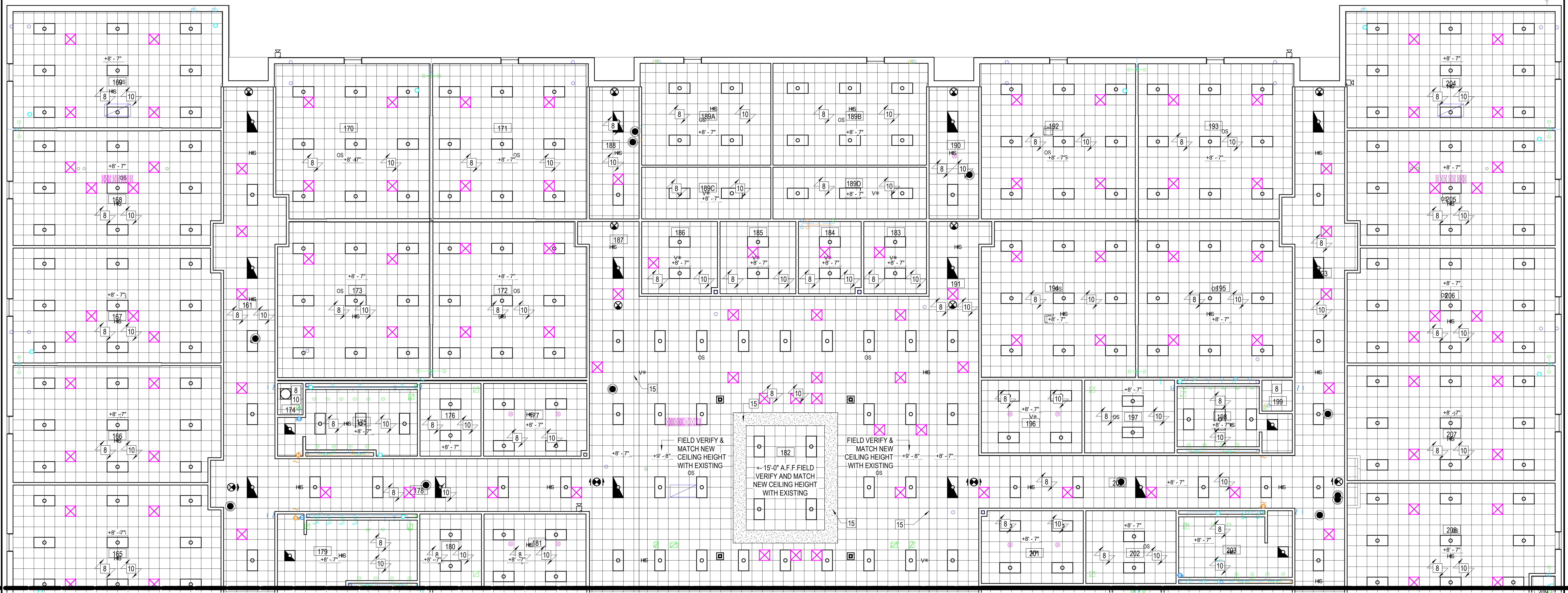
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REFLECTED CEILING PLAN LEGEND

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	2'-0" x 4'-0" LAY-IN ACOUSTICAL TILE CEILING IN SUSPENDED GRID		SUPPLY DIFFUSER
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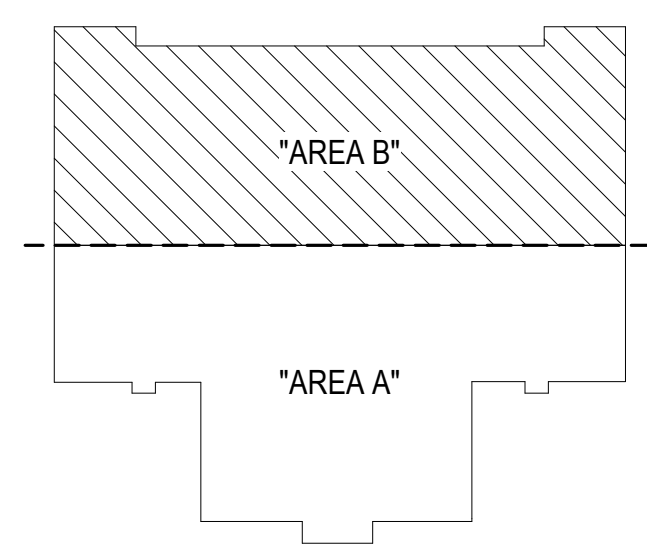
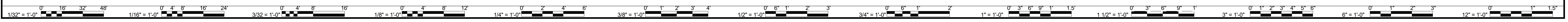
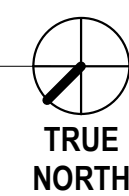
PARTITION WHICH PENETRATES THE CLG & TERMINATES 4" ABOVE FINISHED CLG. UON



4/24/2023 10:23:08 AM BIM 360://121215-01 Dinwiddie County Public Schools/21215-00/21 DCP/ES Southside ES - ARCH/14

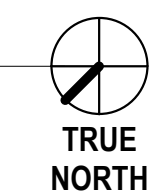
FIRST FLOOR RCP - NEW WORK - AREA B

SCALE: 1/8" = 1'-0"



KEY PLAN - AREA B

NOT TO SCALE



DATE	04/24/2023	DESIGNED	AV	DRAWN	AV / QP	CHECKED	AV
PROJECT	21215-00	MARK	DATE	BY	REVISIONS		

RRMM ARCHITECTS, PC
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 Richmond, Virginia 23219
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DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
REFLECTED CEILING PLAN - AREA B

SHEET
A-104

GENERAL NOTES

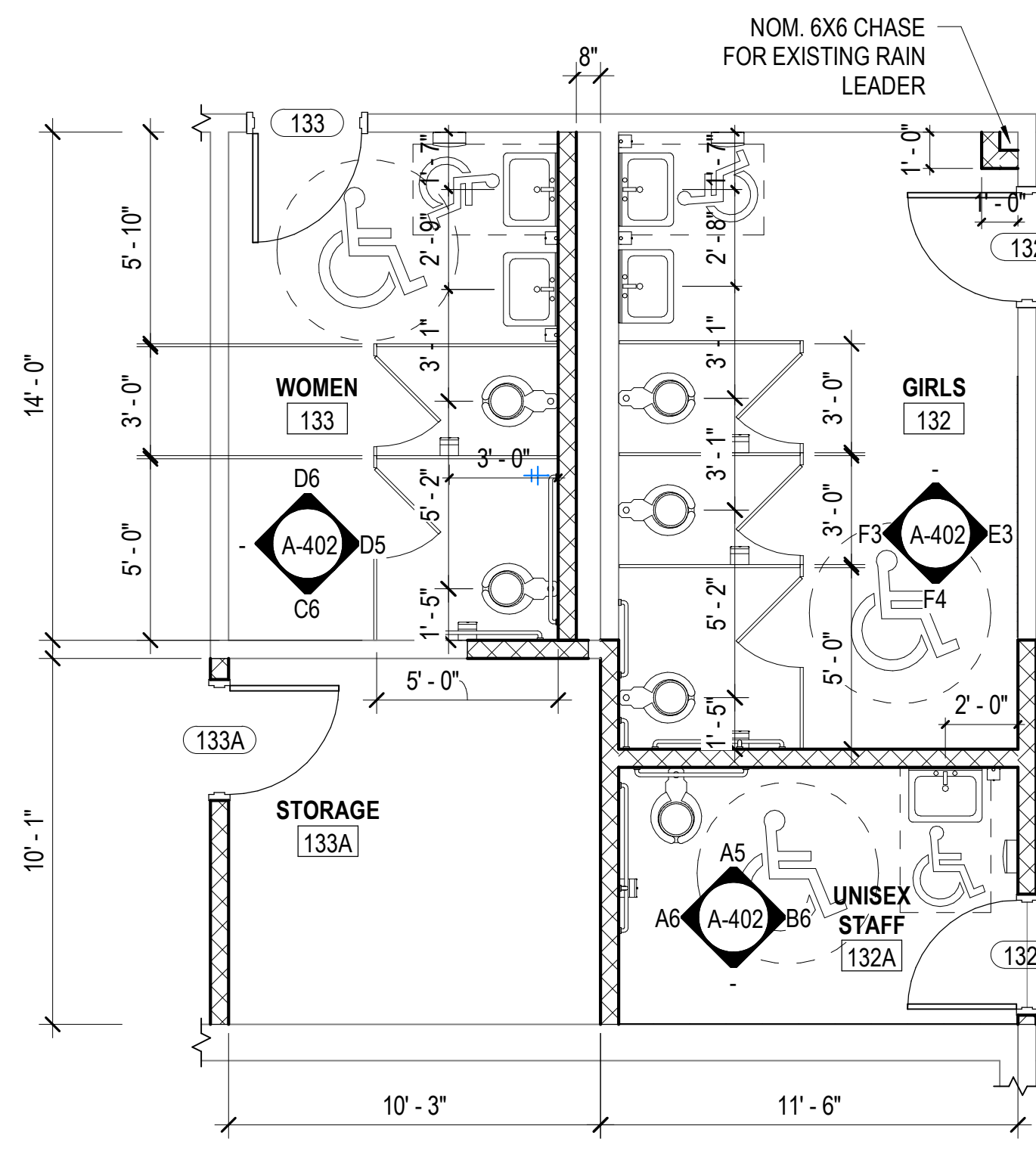
APPLIES TO SHEETS **A-402 - A-401**

- TOILET ACCESSORY ITEMS ARE IDENTIFIED BY SYMBOL (X) - LETTERS CORRESPOND TO SCHEDULE ON SHEET **A-401**
- REFER TO SPEC SECTION 10801 FOR ALL ACCESSORY DESCRIPTIONS.
- ACTUAL DIMENSIONS MAY VARY W/ APPROVED MANUFACTURER. COORDINATE ALL REVISIONS AS REQUIRED.
- PAPER TOWEL, TOILET TISSUE & SOAP DISPENSERS SHALL BE PROVIDED BY OWNER'S PRODUCT SUPPLIER & INSTALLED BY THE CONTRACTOR.
- GRAB BARS & ACCESSORIES TO BE MOUNTED IN ACCORDANCE W/ ANSI, 2003.
- FIELD VERIFY FINISH WALL DIMENSIONS BEFORE INSTALLING GRAB BAR AND RELATED WALL SUPPORTS.
- MOUNT GRAB BAR ON WALL OR TOILET PARTITION AS INDICATED, 12" CLEAR OF WALL WHICH RUNS BEHIND WATER CLOSET.
- MOUNT GRAB BAR CLEAR OF TANK/FLUSH VALVE. COORDINATE W/ PLUMBING FIXTURE PROVIDED. MOUNT 6" FROM FACE OF CONTIGUOUS WALL.
- FIELD VERIFY FINISH WALL DIMENSION BEFORE INSTALLING GRAB BAR & RELATED WALL SUPPORTS.
- MOUNT BOTTOM OF VERTICAL GRAB BAR 3" ABOVE HORIZONTAL GRAB BAR.
- GRAB BARS DIAMETERS SHALL BE BETWEEN 1 1/4" AND 1 1/2" WITH A 1 1/2" CLEARANCE BETWEEN GRAB BARS AND ADJACENT SURFACES.
- PROVIDE UNDER LAVATORY GUARD AT ALL EXPOSED PLUMBING UNDER SINKS. REF PLUMBING DWGS.
- HC GUIDELINES ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR FOR LOCATING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL APPLICABLE HANDICAP ACCESSIBLE FIXTURES AND ACCESSORIES IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

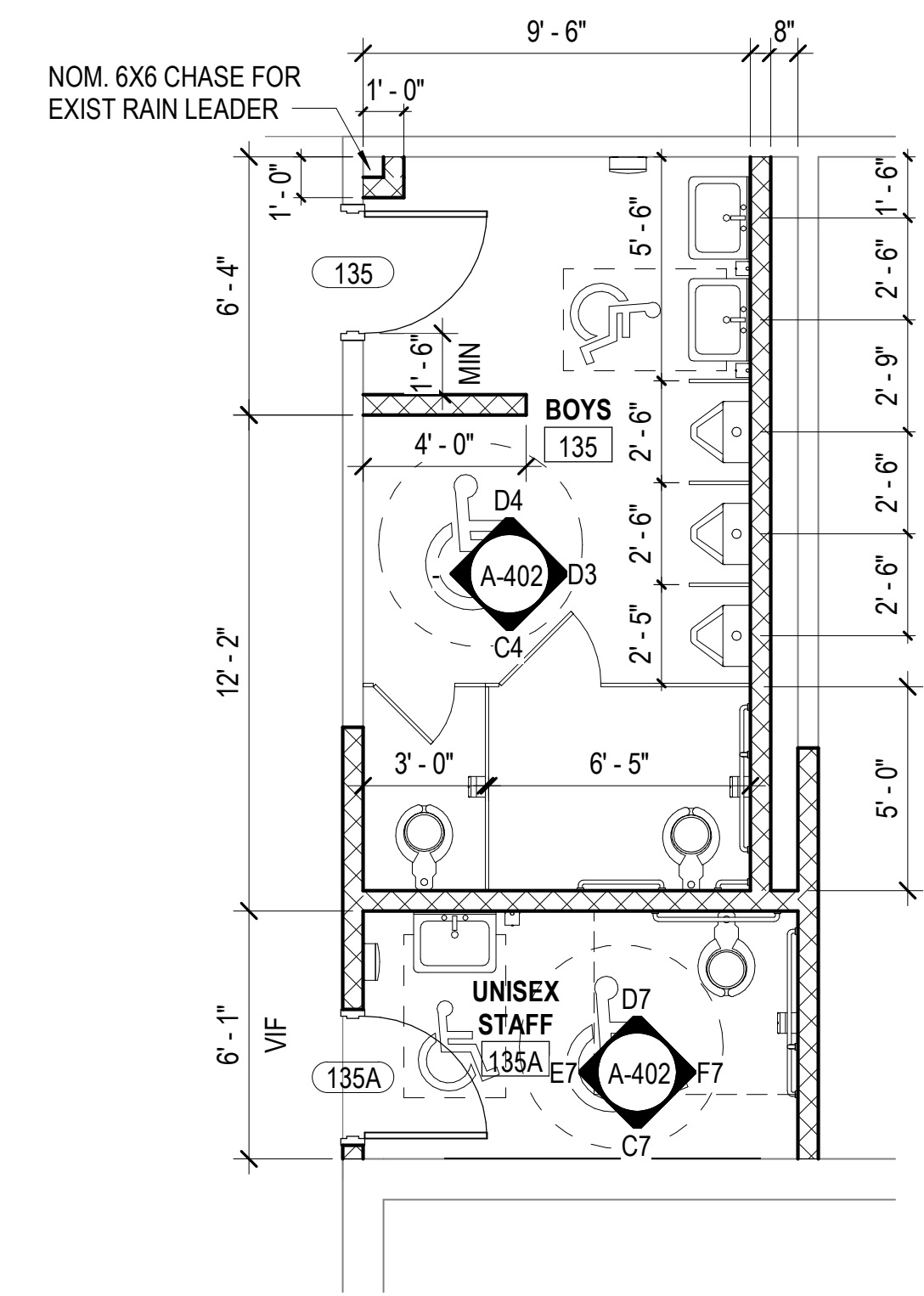
TOILET ACCESSORY SCHEDULE NOTES

- PROVIDED BY OWNER'S PRODUCT SUPPLIER AND INSTALLED BY THE CONTRACTOR.
- MOUNT GRAB BAR ON WALL OR TOILET PARTITION AS INDICATED, 12" CLEAR OF WALL WHICH RUNS BEHIND WATER CLOSET.
- MOUNT GRAB BAR CLEAR OF TANK/ FLUSH VALVE. COORDINATE WITH PLUMBING MOUNT 6" FROM FACE OF CONTIGUOUS WALL.
- FIELD VERIFY FINISH WALL DEMINSON BEFORE INSTALLING GRAB BAR AND RELATED WALL SUPPORTS.
- SURFACE MOUNTED
- INSTALL 1 MOP / BROOM HOLDER AND UTILITY SHELF IN ALL JANITOR CLOSETS.

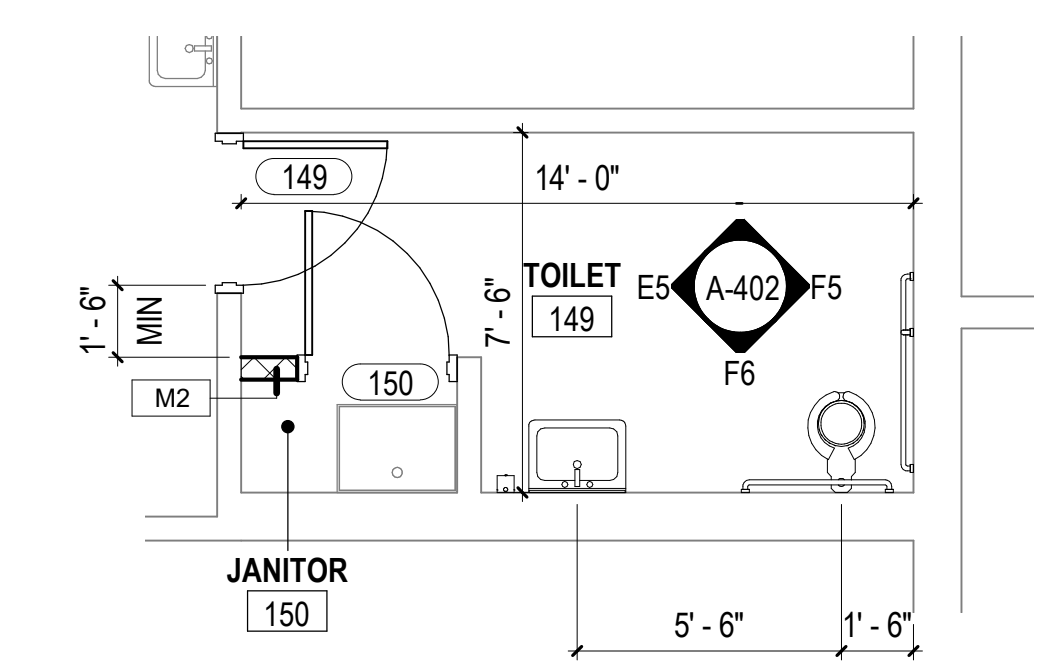
TOILET ACCESSORY SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
	24" GRAB BAR		812-2-001-36	3
	24" GRAB BAR		812-2-001-36	
A	42" GRAB BAR		B-812-2	2
B	BROOM UTILITY SHELF	REF SPEC	B-224	NOTE(S): 6
G1	AMBULATORY STALL GRAB BAR	REF SPEC	--	NOTE(S): 2, 4, 5
G2	18" VERTICAL GRAB BAR	REF SPEC	--	NOTE(S): 2, 3, 4, 5
G3	ADA STALL HORIZONTAL GRAB BARS	REF SPEC	--	NOTE(S): 2, 4, 5
K	9 1/2" GRAB BAR - FIELD VERIFY		812-2-001-36	3
MI	MIRROR 24" X 36"	REF SPEC	B-780-1830	NOTE(S): 1, 5
PT	SURFACE MOUNTED PAPER TOWEL DISPENSER	REF SPEC	B-4262	NOTE(S): 1, 5
SD	AUTOMATIC WALL MOUNTED SOAP DISPENSER	REF SPEC	B-2013	NOTE(S): 1, 5
TP	SURFACE MOUNTED TOILET TISSUE DISPENSER	REF SPEC	B-2888	NOTE(S): 1, 5



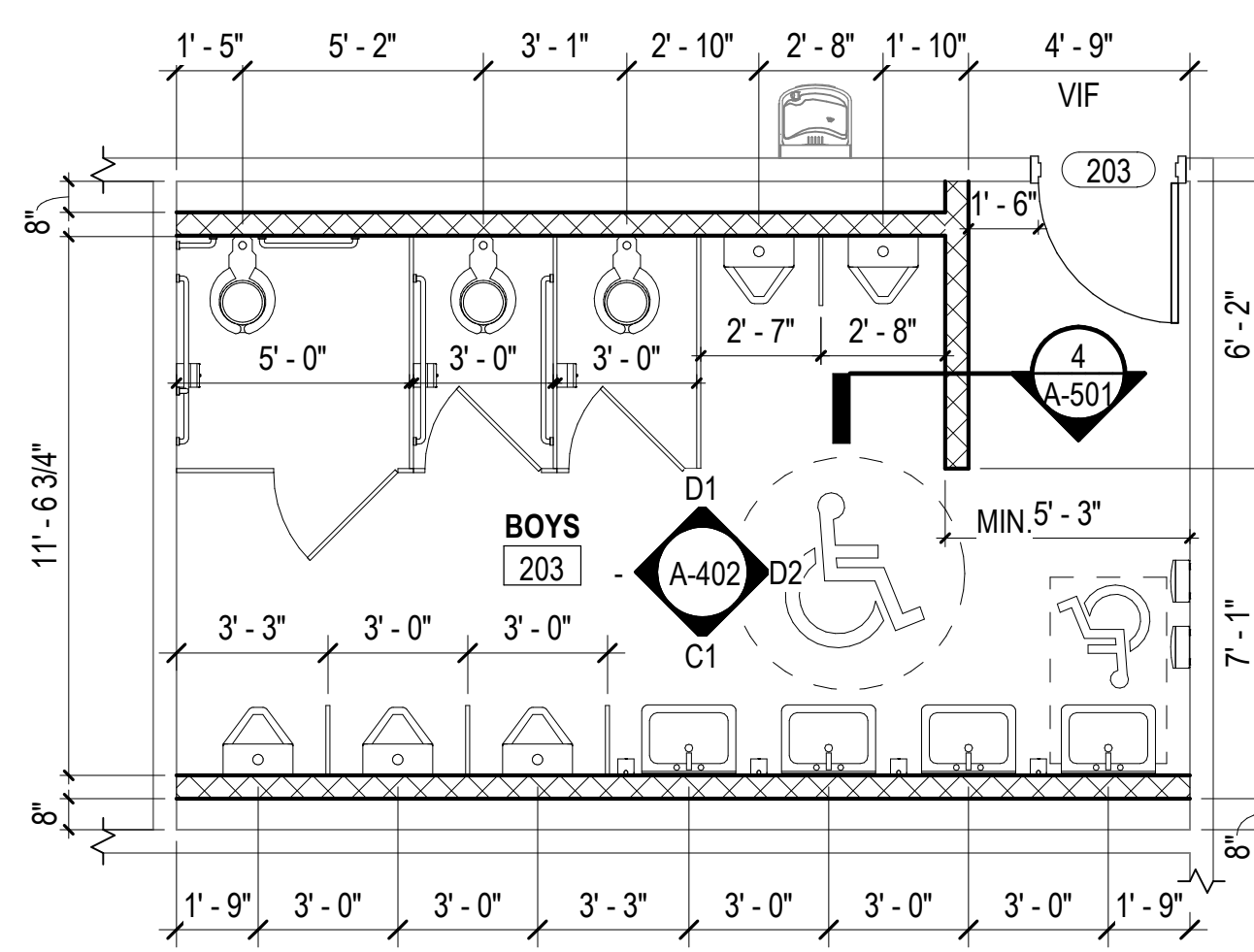
C1 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



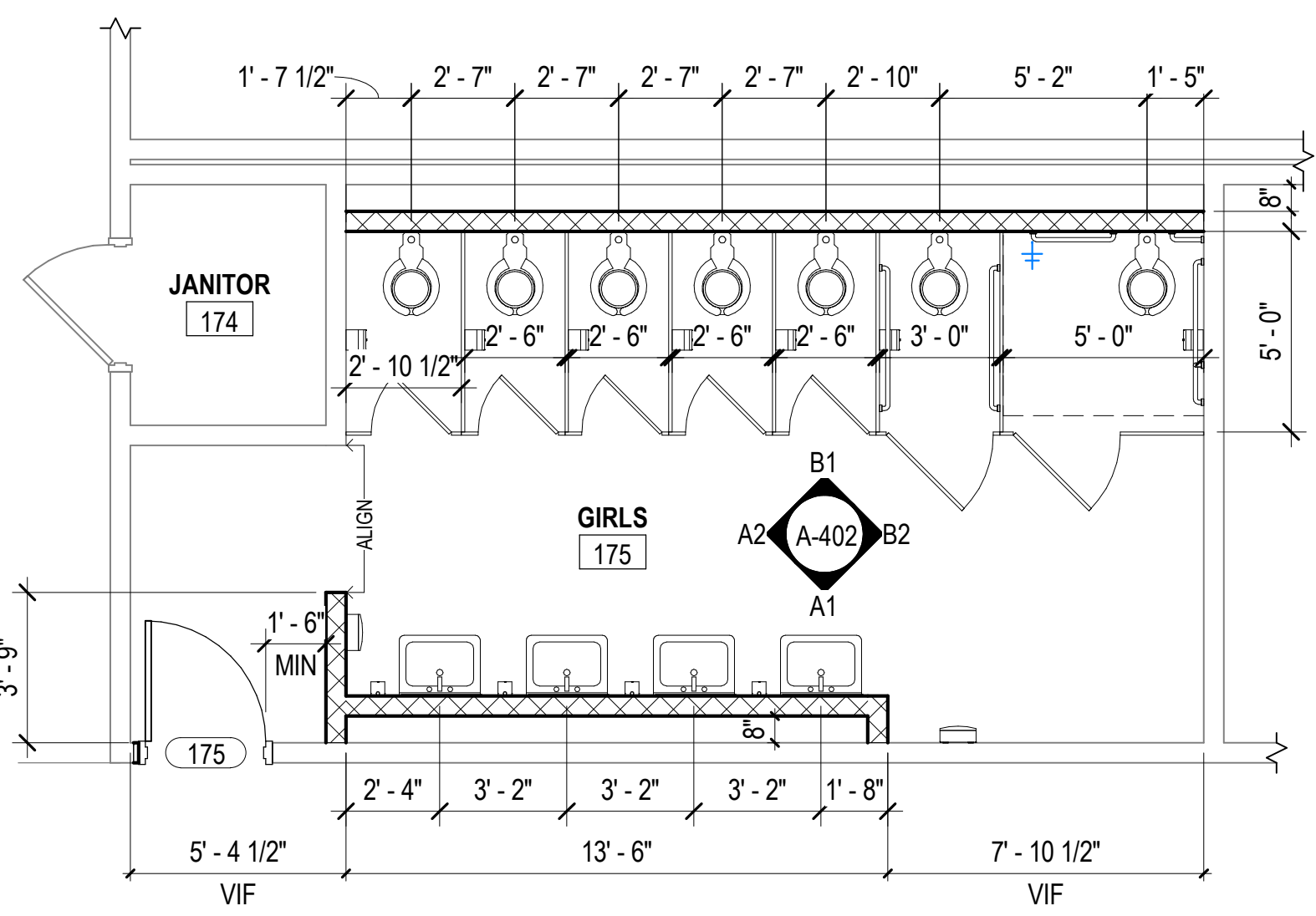
C2 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



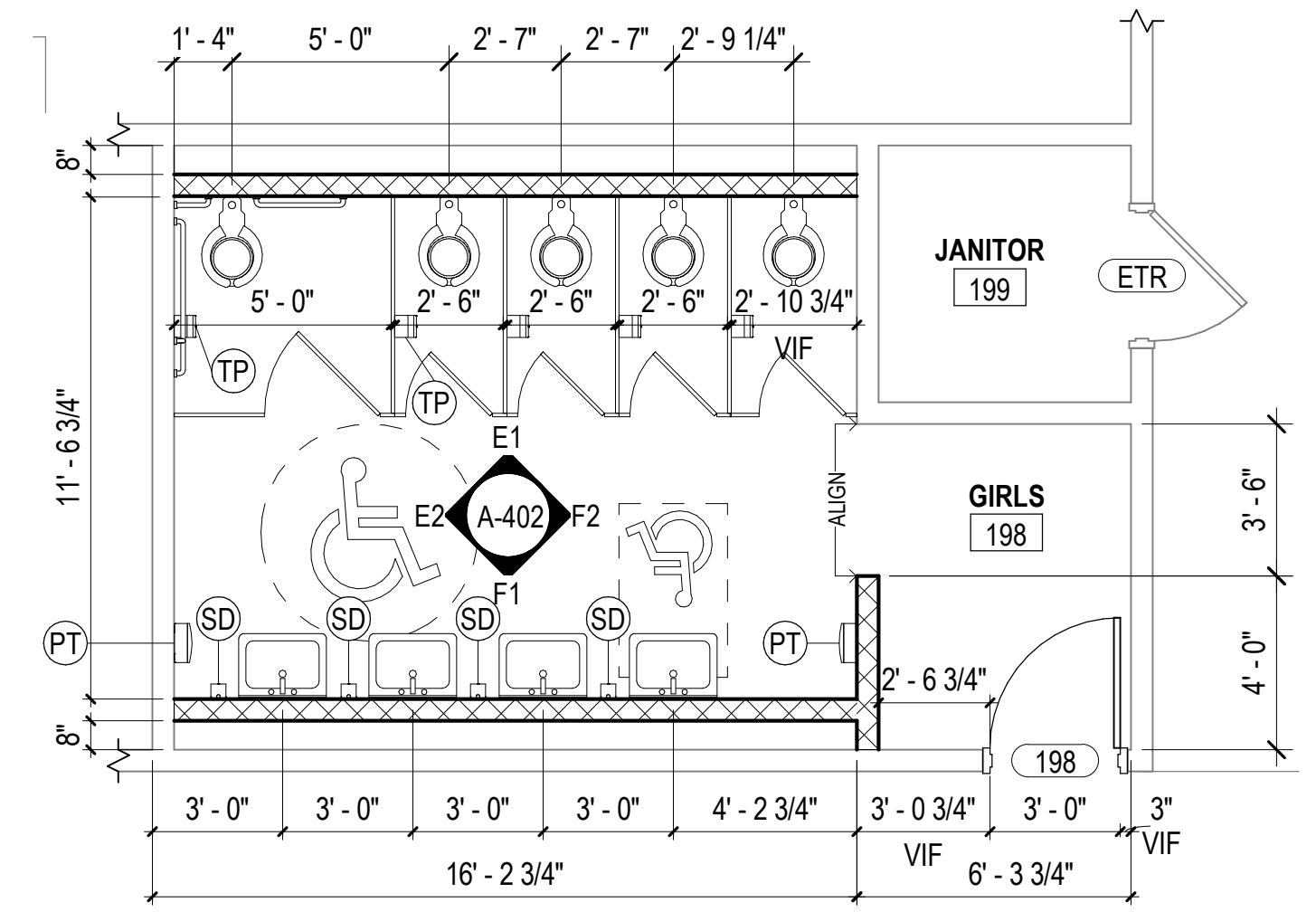
B1 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



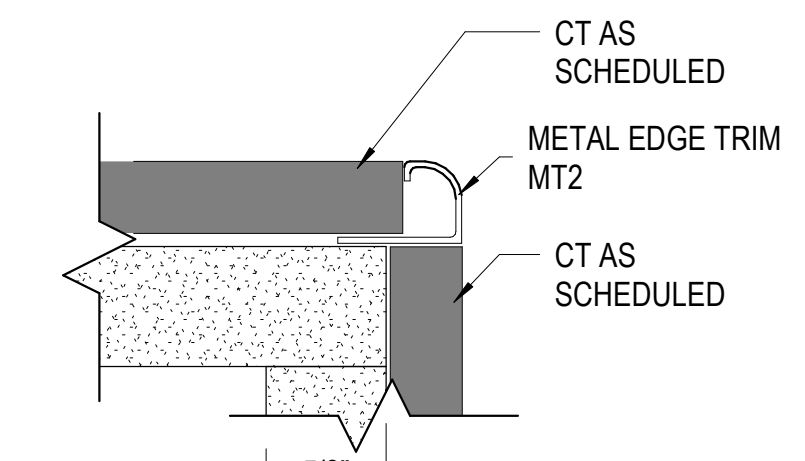
B3 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



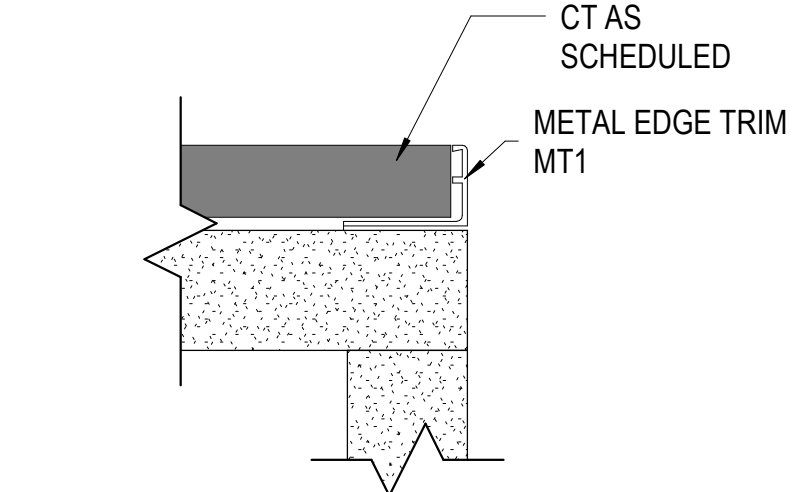
A1 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



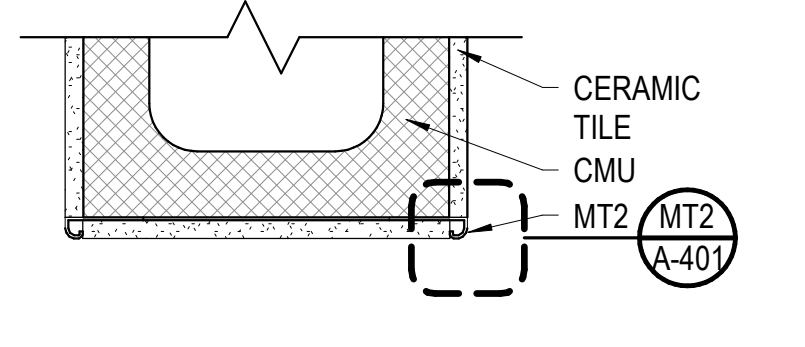
A2 RESTROOM PLAN
SCALE: 1/4" = 1'-0"



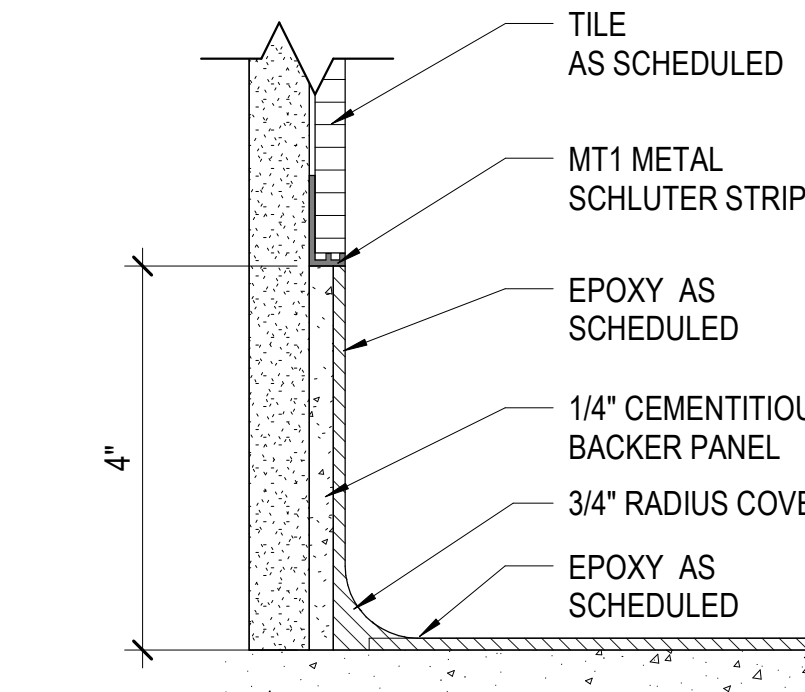
MT2 TRIM CORNER DETAIL
SCALE: 12" = 1'-0"



MT1 EDGE TRIM DETAIL
SCALE: 12" = 1'-0"



CERAMIC TILE PLAN DETAIL
SCALE: 3" = 1'-0"



EPOXY COVE BASE DETAIL
SCALE: 6" = 1'-0"

DATE	04/24/2023	DESIGNED	AV	MP
PROJECT	21215-00	DRAWN	AV / QP	
MARK		DATE		
DESCRIPTION		REVISIONS		

DATE	04/24/2023	DESIGNED	AV	MP
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DESCRIPTION		REVISIONS		

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Jeffrey A. Harris
JEFFREY A. HARRIS
Lic. No. 10748
4/24/2023
ARCHITECT

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

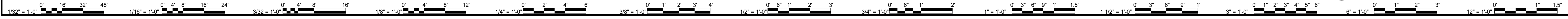
ENLARGED TOILET PLANS & DETAILS

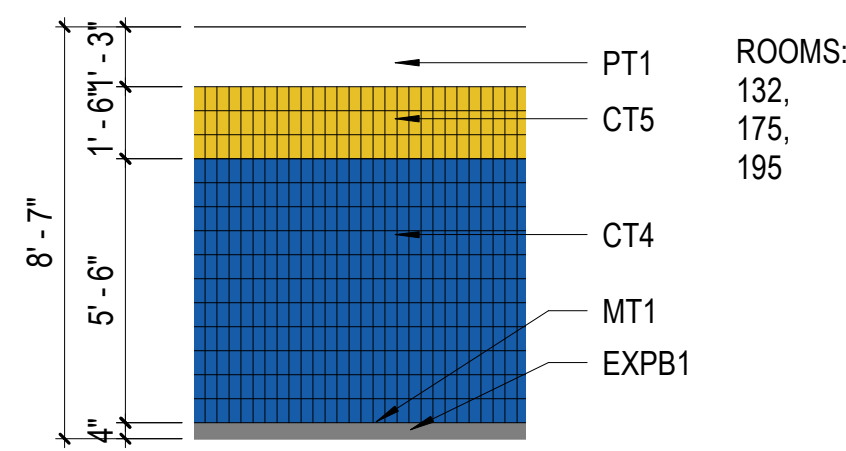
PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: ENLARGED TOILET PLANS & DETAILS

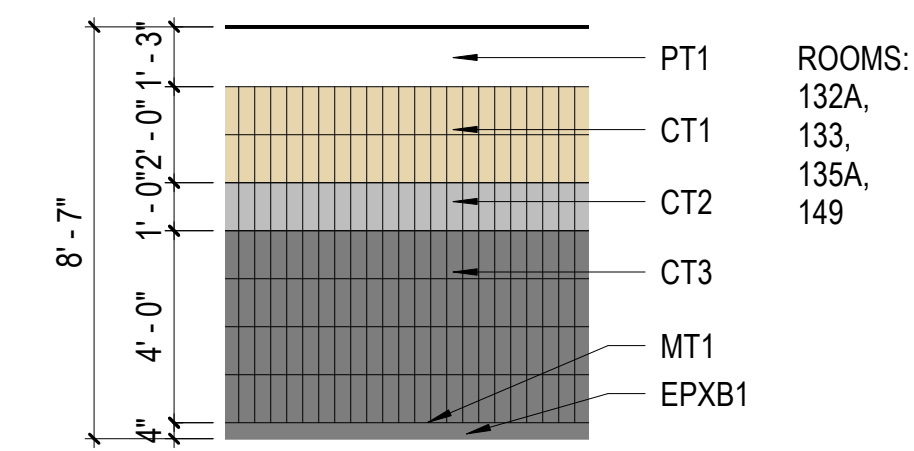
SHEET: **A-401**

4/24/2023 10:23:14 AM BIN:369/121215-01 Dinwiddie County Public Schools/21215-00/21 DCPSS Southside ES - ARCH1.rvt

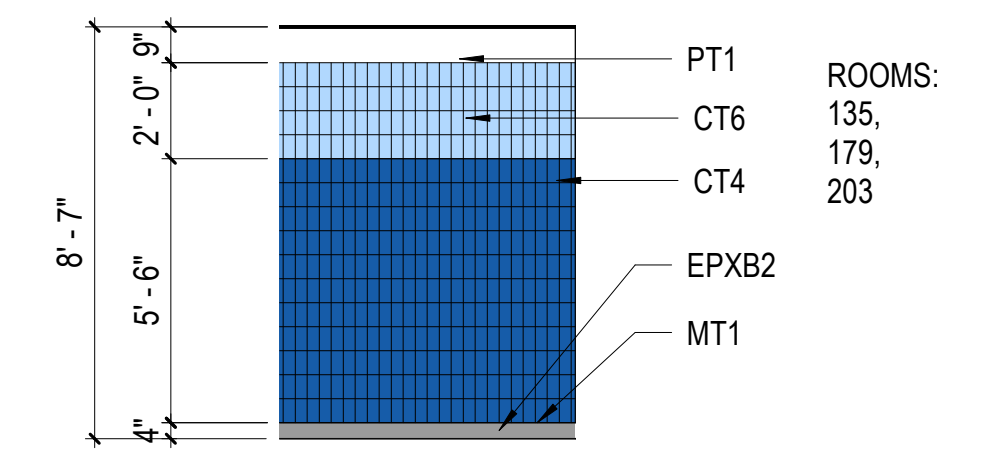




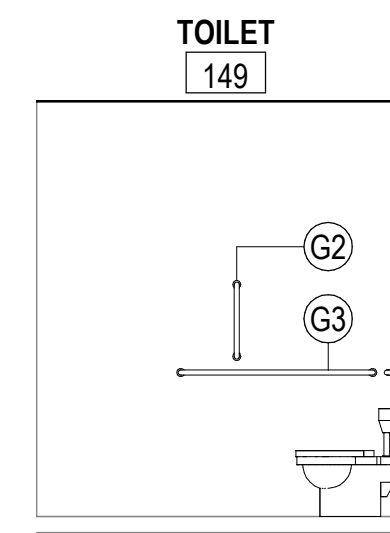
TYP. CT WALL LAYOUT - GIRLS
SCALE: 1/4" = 1'-0"



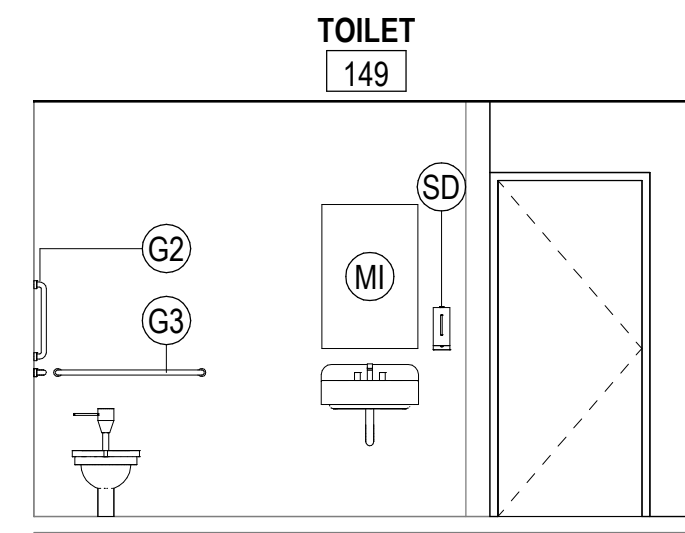
TYP. CT WALL LAYOUT - STAFF
SCALE: 1/4" = 1'-0"



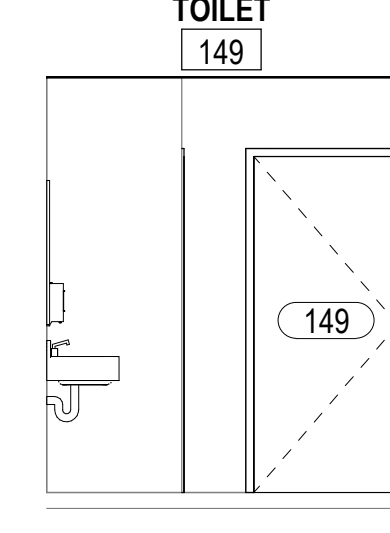
TYP. CT WALL LAYOUT - BOYS
SCALE: 1/4" = 1'-0"



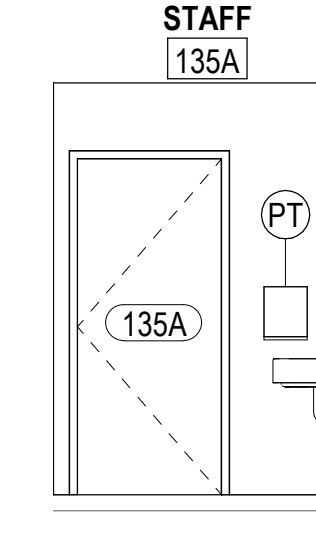
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A-402 SCALE: 1/4" = 1'-0"



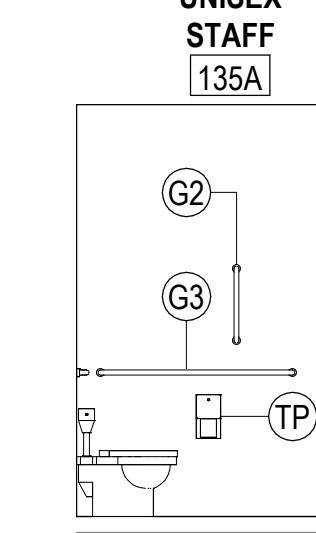
F6
A-402 SCALE: 1/4" = 1'-0"



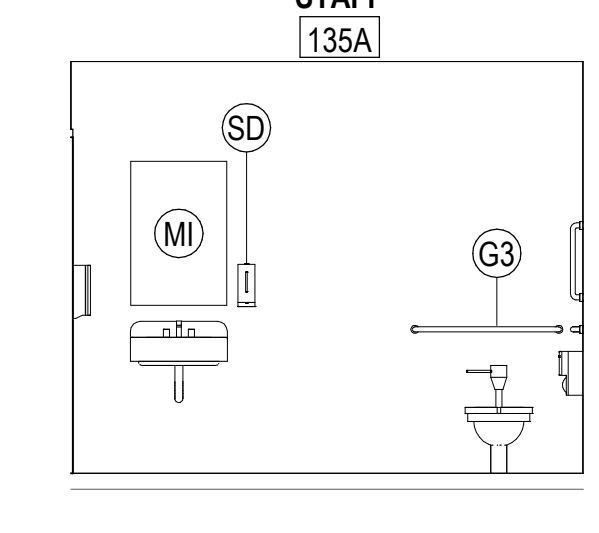
E5
A-402 SCALE: 1/4" = 1'-0"



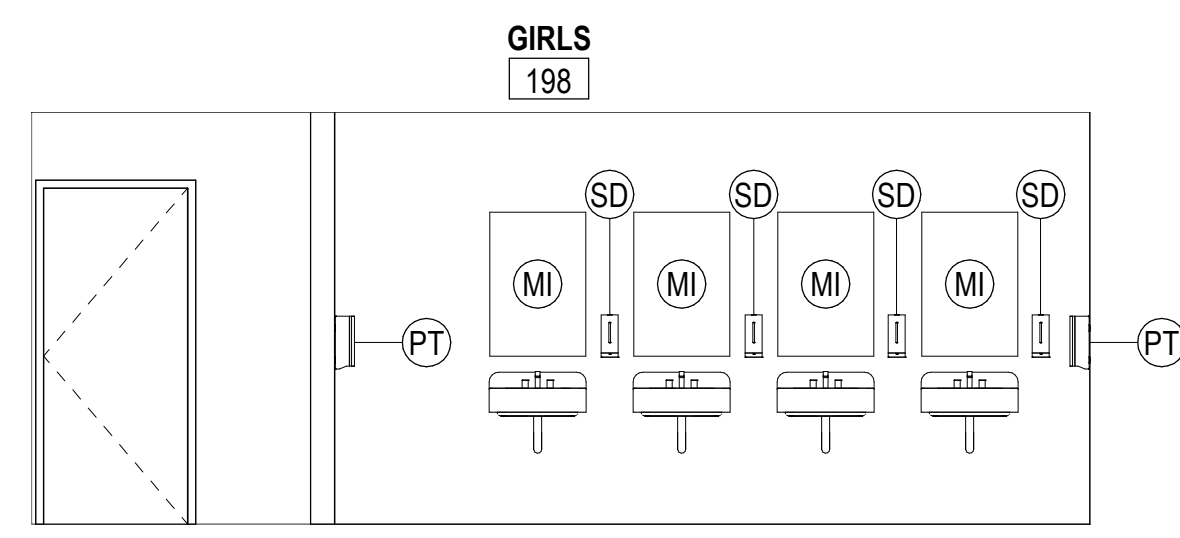
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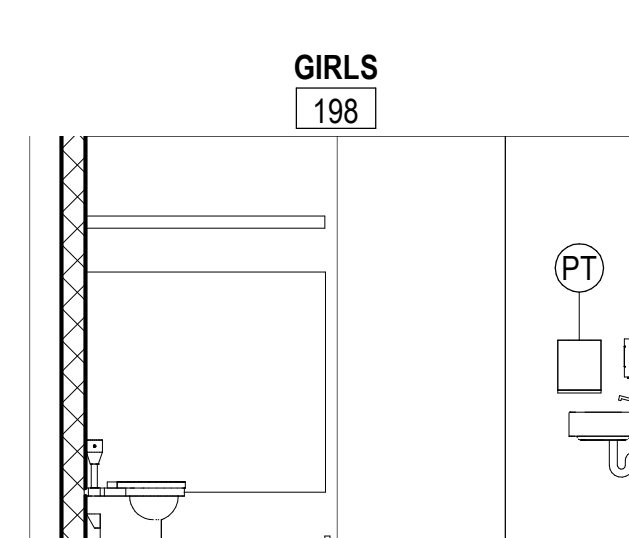
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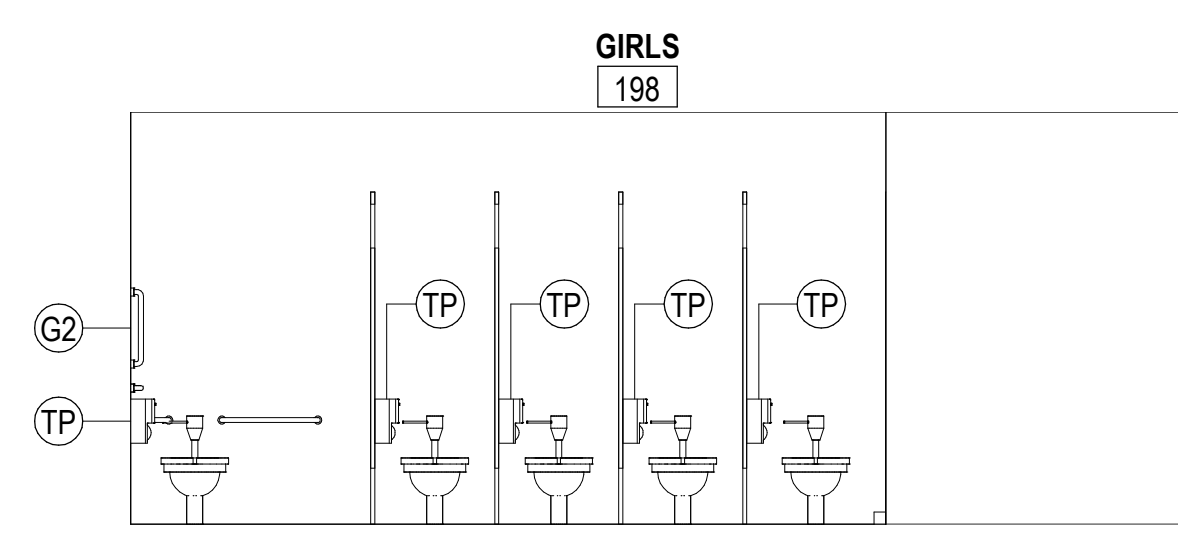
D7
A-402 SCALE: 1/4" = 1'-0"



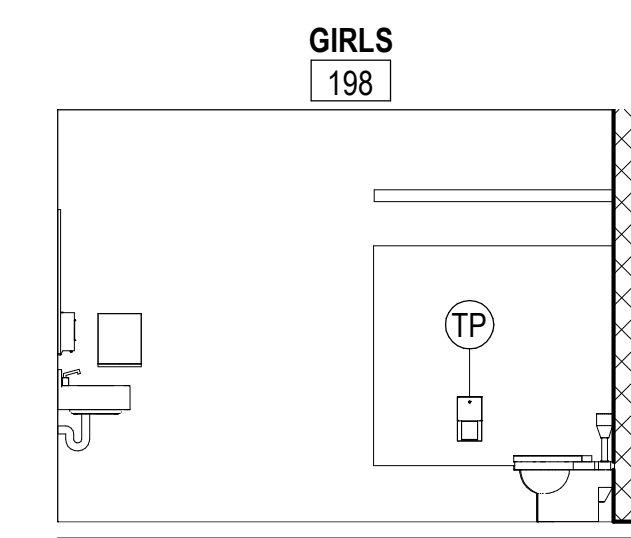
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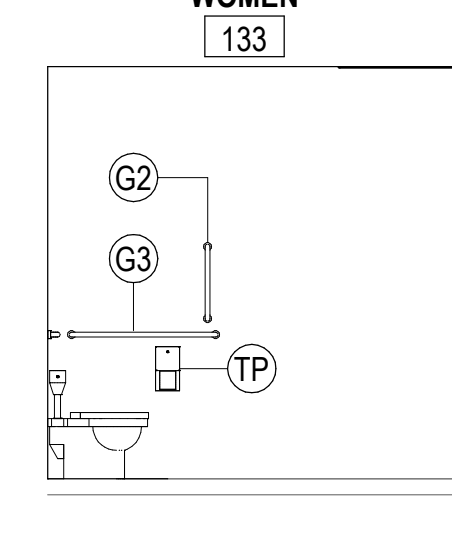
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A-402 SCALE: 1/4" = 1'-0"



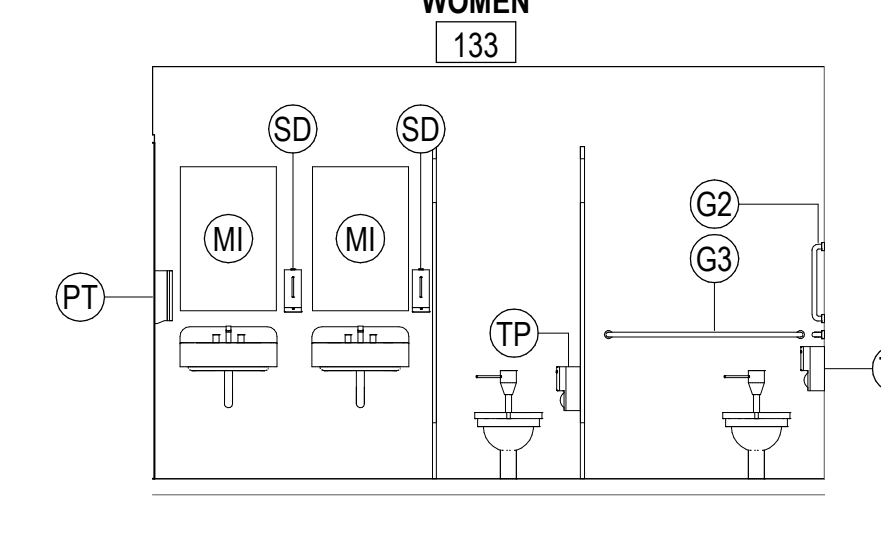
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A-402 SCALE: 1/4" = 1'-0"



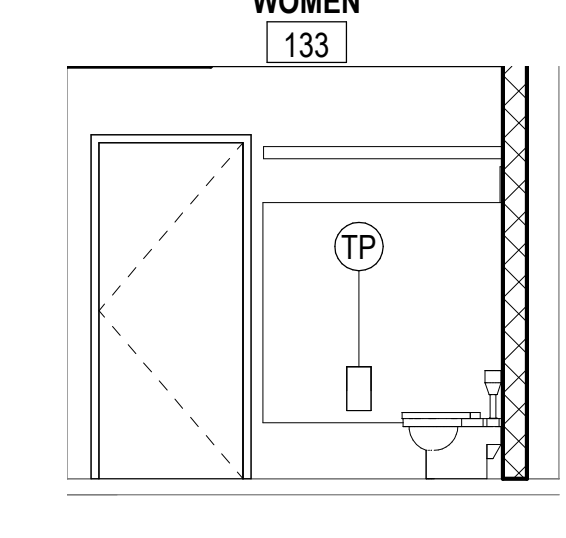
E2
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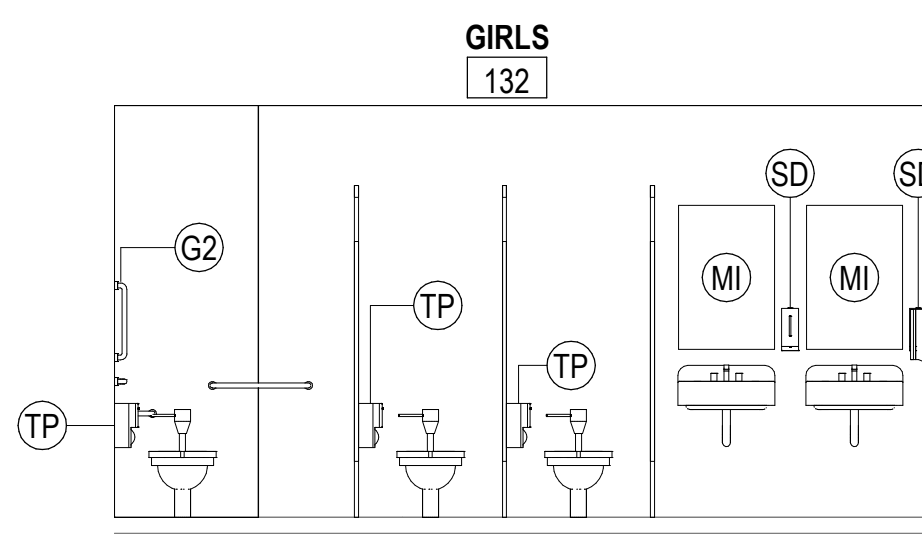
C6
A-402 SCALE: 1/4" = 1'-0"



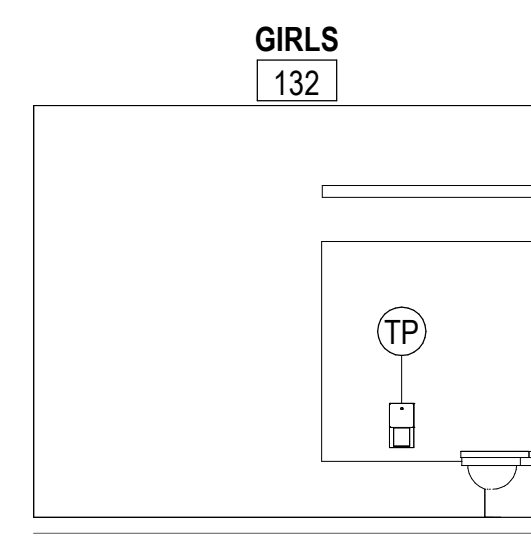
D5
A-402 SCALE: 1/4" = 1'-0"



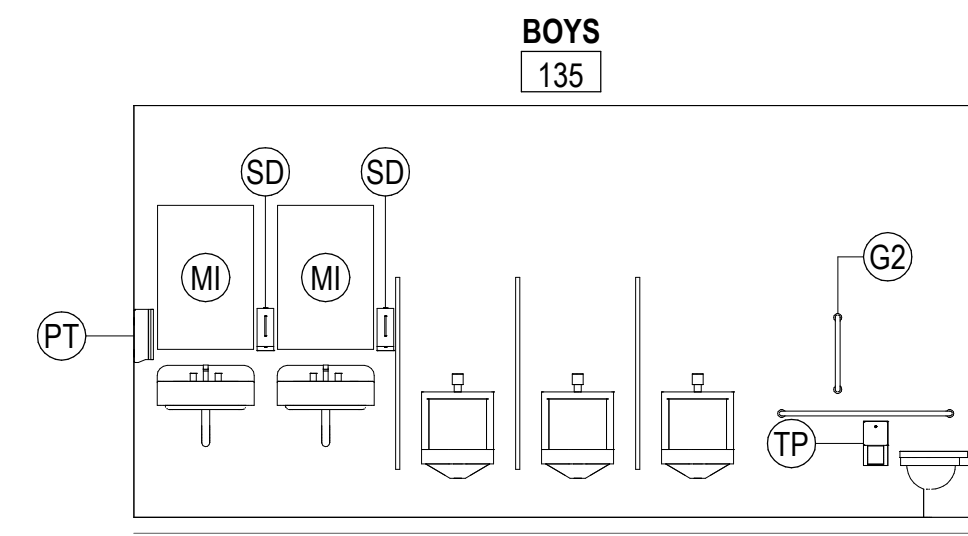
D6
A-402 SCALE: 1/4" = 1'-0"



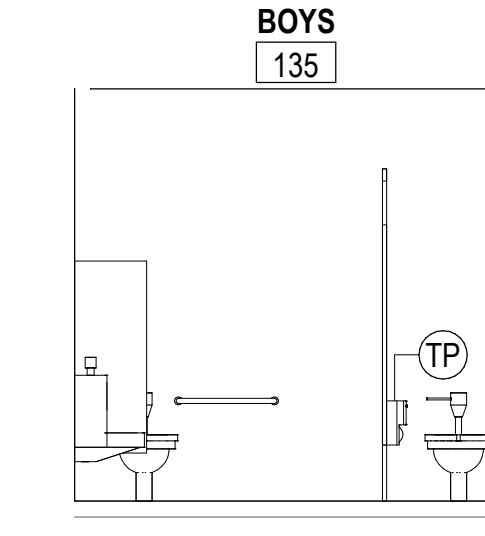
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A-402 SCALE: 1/4" = 1'-0"



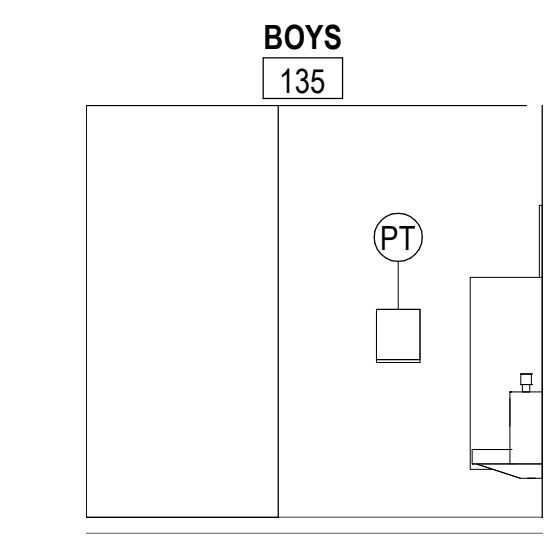
F4
A-402 SCALE: 1/4" = 1'-0"



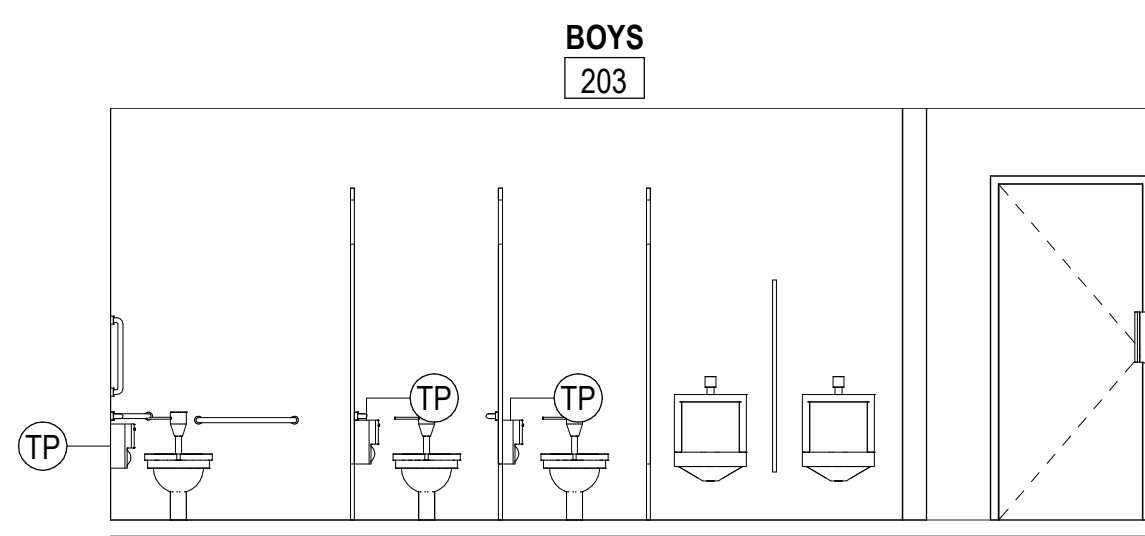
D3
A-402 SCALE: 1/4" = 1'-0"



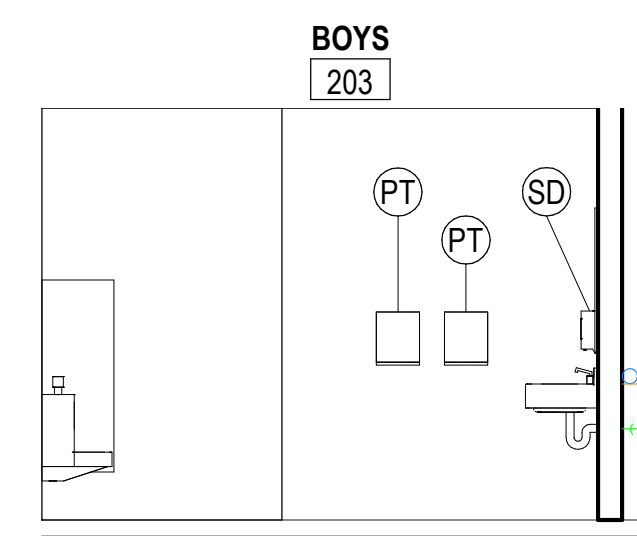
C4
A-402 SCALE: 1/4" = 1'-0"



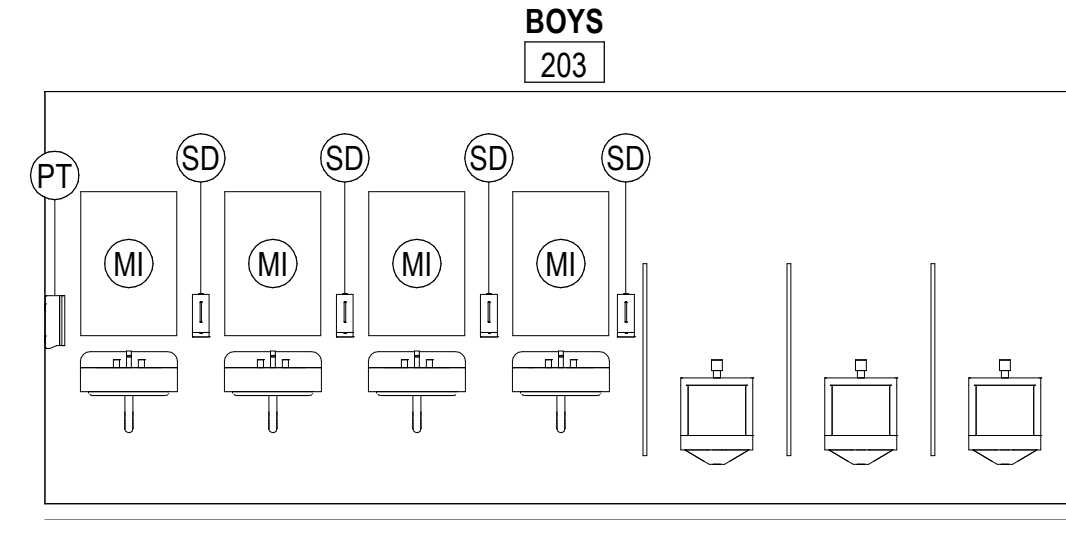
D4
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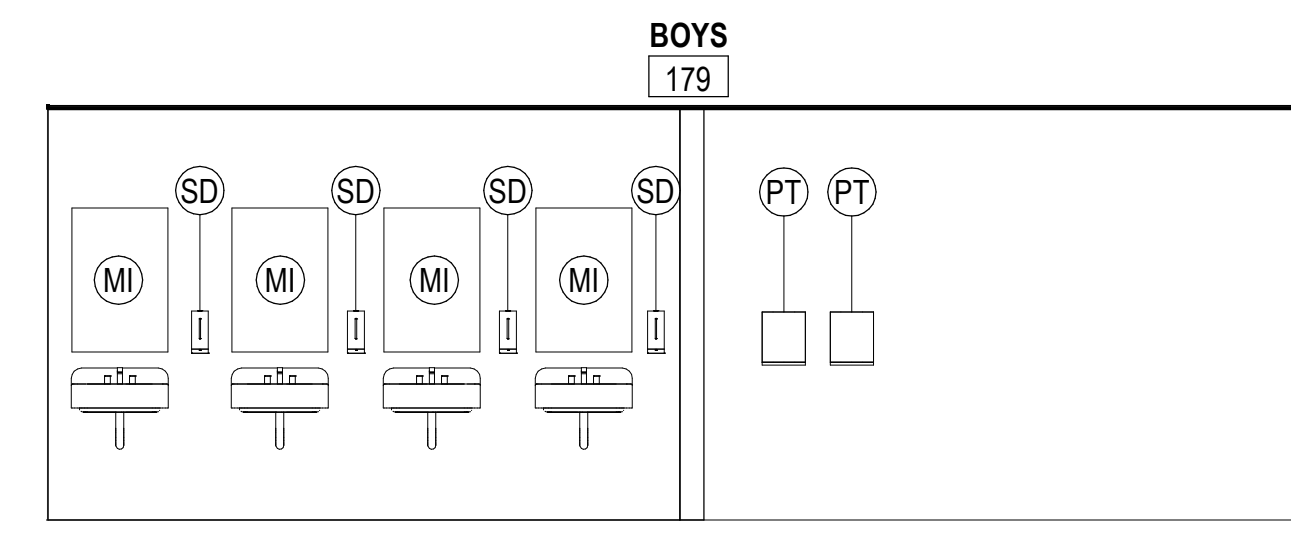
D1
A-402 SCALE: 1/4" = 1'-0"



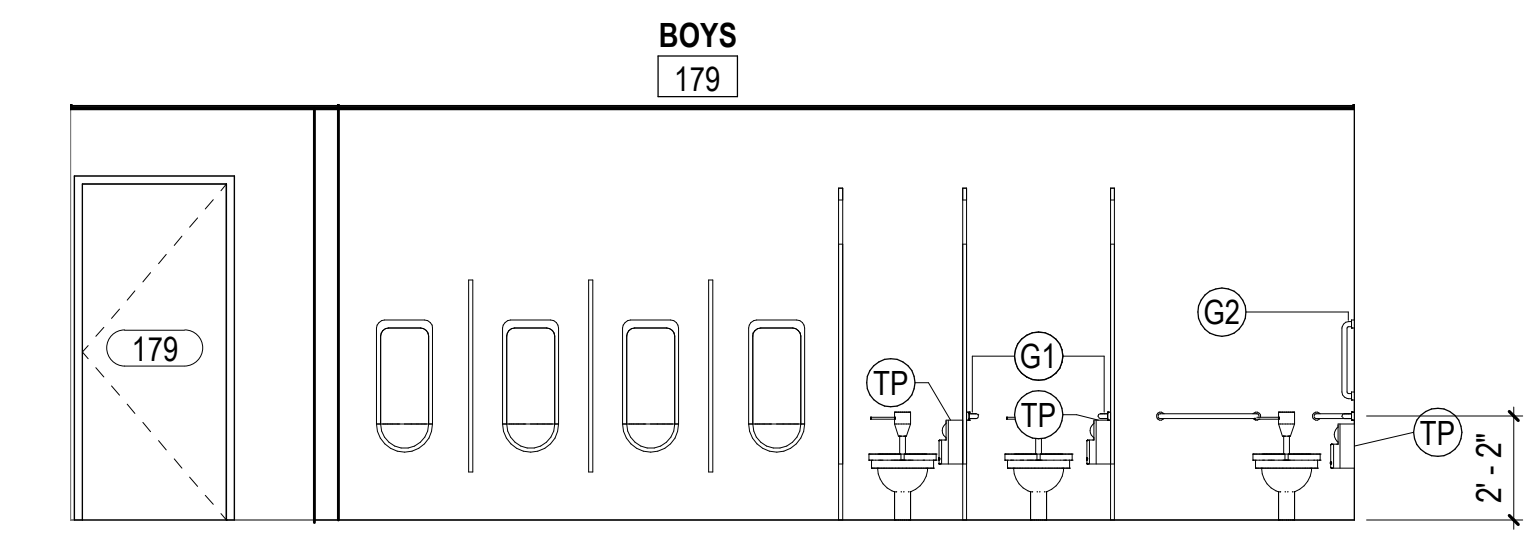
D2
A-402 SCALE: 1/4" = 1'-0"



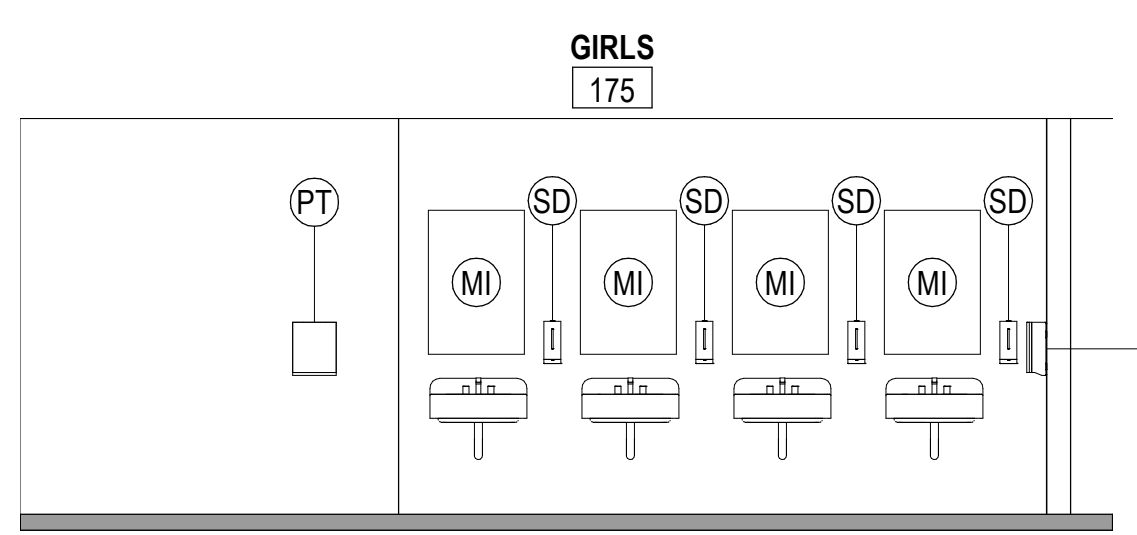
C1
A-402 SCALE: 1/4" = 1'-0"



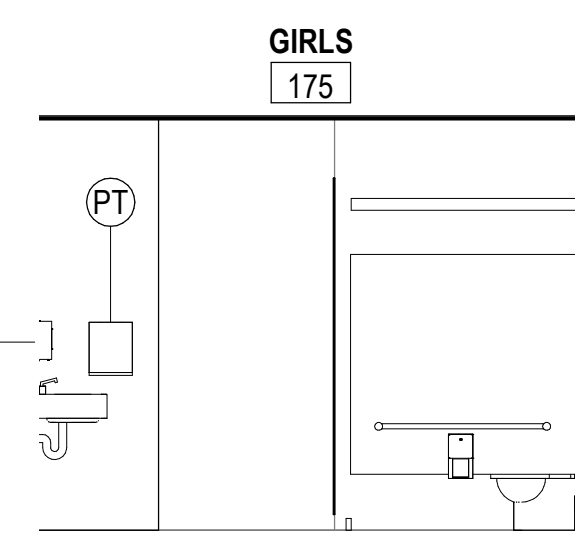
A3
A-402 SCALE: 1/4" = 1'-0"



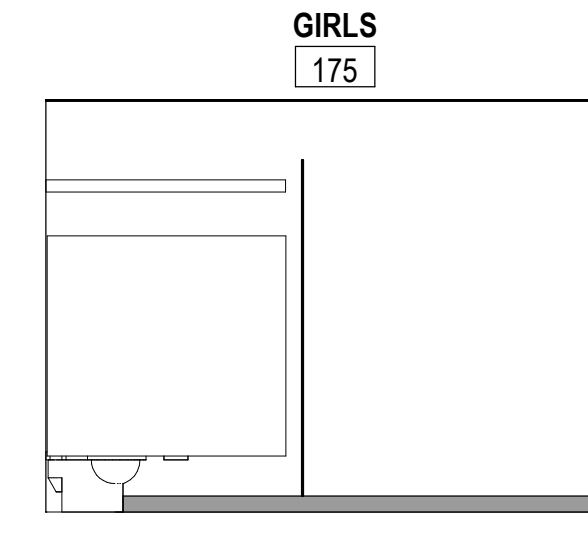
B3
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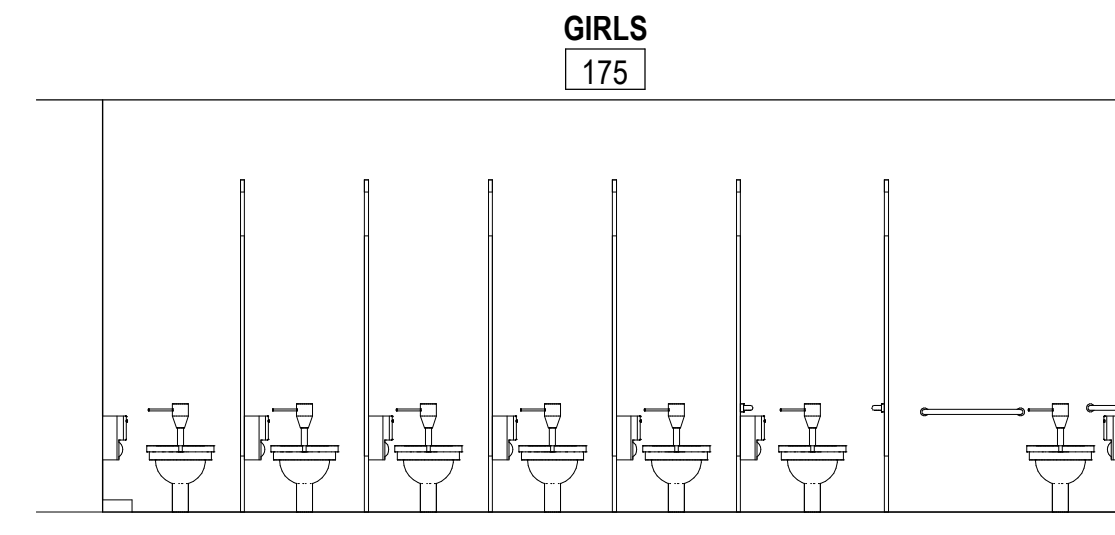
A1
A-402 SCALE: 1/4" = 1'-0"



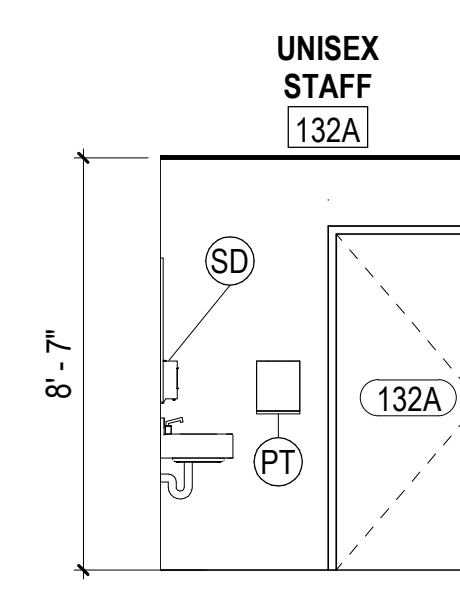
A2
A-402 SCALE: 1/4" = 1'-0"



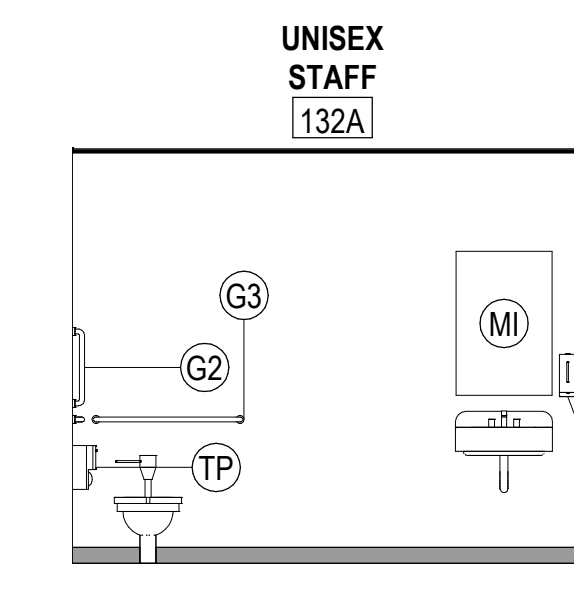
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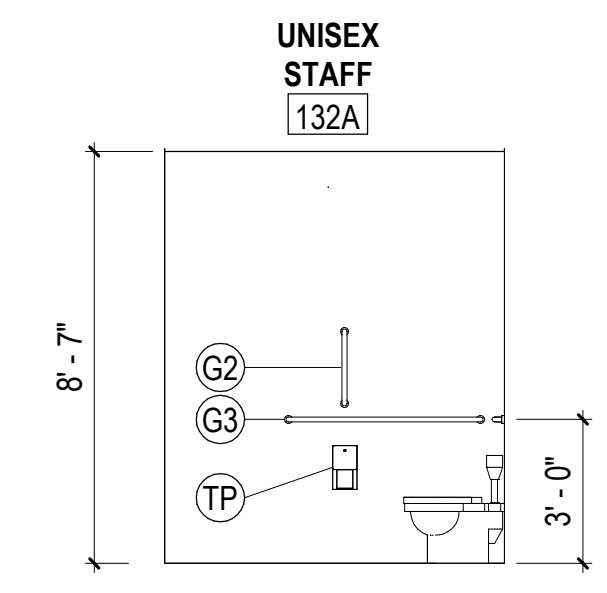
B1
A-402 SCALE: 1/4" = 1'-0"



B6
A-402 SCALE: 1/4" = 1'-0"



A5
A-402 SCALE: 1/4" = 1'-0"



A6
A-402 SCALE: 1/4" = 1'-0"



DATE	04/24/2023	DESIGNED	AV	HP/OP	MP
PROJECT	21215-00	DRAWN		CHECKED	
MARK		DATE		REVISIONS	
BY					DESCRIPTION

DATE	04/24/2023	DESIGNED	AV	HP/OP	MP
PROJECT	21215-00	DRAWN		CHECKED	

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L.E. No. 10748
4/24/2023
ARCHITECT

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

RESTROOM ELEVATIONS

SHEET
A-402

LINTEL SCHEDULE

MARK	DESCRIPTION	CONFIGURATION	LOCATION
L1	6" WIDE X 8" DEEP CMU BOND BEAM WITH (1) #4 BOTTOM		L1 - TYPICAL CLEAR OPENING IN INTERIOR PARTITION WALLS 1'-0" TO 4'-0" WIDE (UNO)
L2	6" WIDE X 16" DEEP CMU BOND BEAM WITH (1) #4 TOP & BOTTOM		L2 - TYPICAL CLEAR OPENING IN INTERIOR PARTITION WALLS 4'-1" TO 9'-4" WIDE (UNO)
L3	8" WIDE X 8" DEEP CMU BOND BEAM WITH (2) #4 BOTTOM		L3 - TYPICAL CLEAR OPENING IN INTERIOR PARTITION WALLS 1'-0" TO 4'-0" WIDE (UNO)
L4	8" WIDE X 16" DEEP CMU BOND BEAM WITH (2) #4 TOP AND BOTTOM		L4 - TYPICAL CLEAR OPENING IN INTERIOR PARTITION WALLS 4'-1" TO 11'-4" WIDE (UNO)

NOTE: FOR LINTELS AT EXISTING WALL CONDITIONS, PRECAST CMU LINTELS OF SAME SIZE WITH SAME REINFORCING MAY BE USED IN LIEU OF BOND BEAMS

BOTTOM COURSE OF LINTEL'S BOND BEAM SHALL BE U-SHAPED, TYP

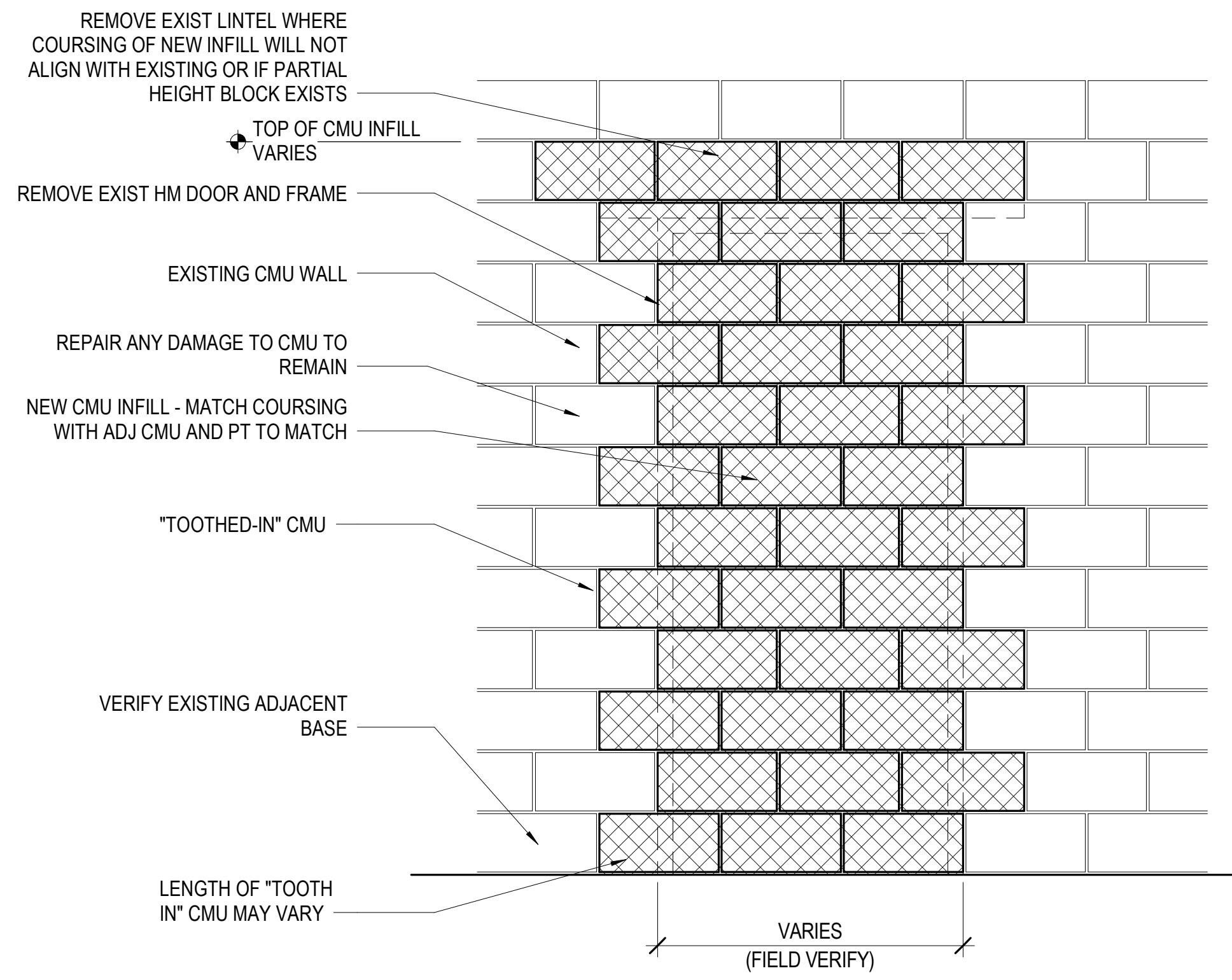
GROUT HOLLOW METAL FRAMES- TYPICAL ALL LINTEL TYPES

UPPER COURSES OF BOND BEAM LINTEL SHALL BE CONSTRUCTED FROM KNOCKED-OUT-WEB TYPE UNIT TYPICAL ALL BOND BEAM LINTELS - TYP

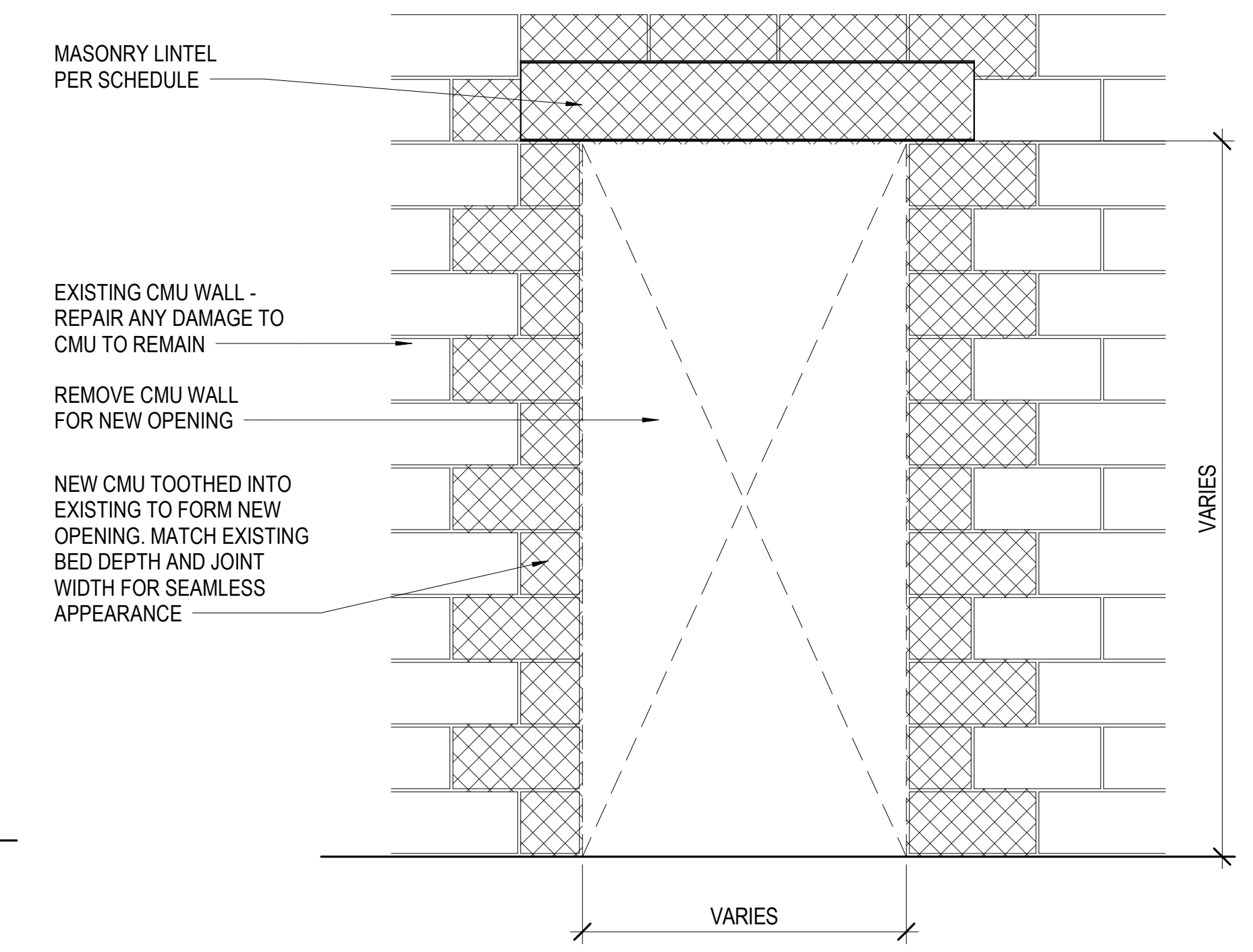
ALL BOND BEAM UNITS 16" LONG - TYP

LINTEL SCHEDULE NOTES

- REINFORCING BARS IN CMU BOND BEAMS SHALL BE ASTM A615 GRADE 60.
- FILL ALL BOND BEAMS WITH Fc AT 28 DAY, 2000 PSI MINIMUM PORTLAND CEMENT GROUT. SHORE BOND BEAMS UNTIL GROUT HAS CURED.
- BEAR ALL CMU BOND BEAMS AND 8" ON SOLID MASONRY EACH END UNLESS NOTED OTHERWISE.
- WHERE LINTELS BEAR PERPENDICULAR TO CAVITY WALLS, THE BEARING LENGTH BEGINS AT FACE OF CMU INSIDE CAVITY
- FOR LINTELS NOT INDICATED (SUCH AS THOSE REQUIRED FOR MECHANICAL DUCTS) USE A SIMILAR LINTEL TYPE INDICATED ABOVE FOR THE SIMILAR WALL TYPE AND SPAN LENGTH.
- REFER TO SPECIFICATION FOR LINTELS IN NON-BEARING STEEL STUD WALLS.
- SHORE EXISTING WALLS AS REQD WHERE NEW LINTELS ARE TO BE INSTALLED WITHIN EXISTING WALLS.
- ALL TRADES CUTTING HOLES IN NEW OR EXISTING CMU WALLS SHALL COORDINATE THEIR WORK WITH THE MASON SO THAT AN APPROPRIATE LINTEL MAY BE PROVIDED AT THE OPENING. AT LOCATIONS ABOVE CEILINGS, PRECAST CMU OR PRECAST CONCRETE LINTELS MAY BE SUBSTITUTED FOR BOND BEAM LINTELS INDICATED SO LONG AS THE SAME UNIT SIZE AND REINFORCING STEEL IS PROVIDED.



INFILL OF EXIST. OPENING IN CMU WALL
SCALE: 3/4" = 1'-0"



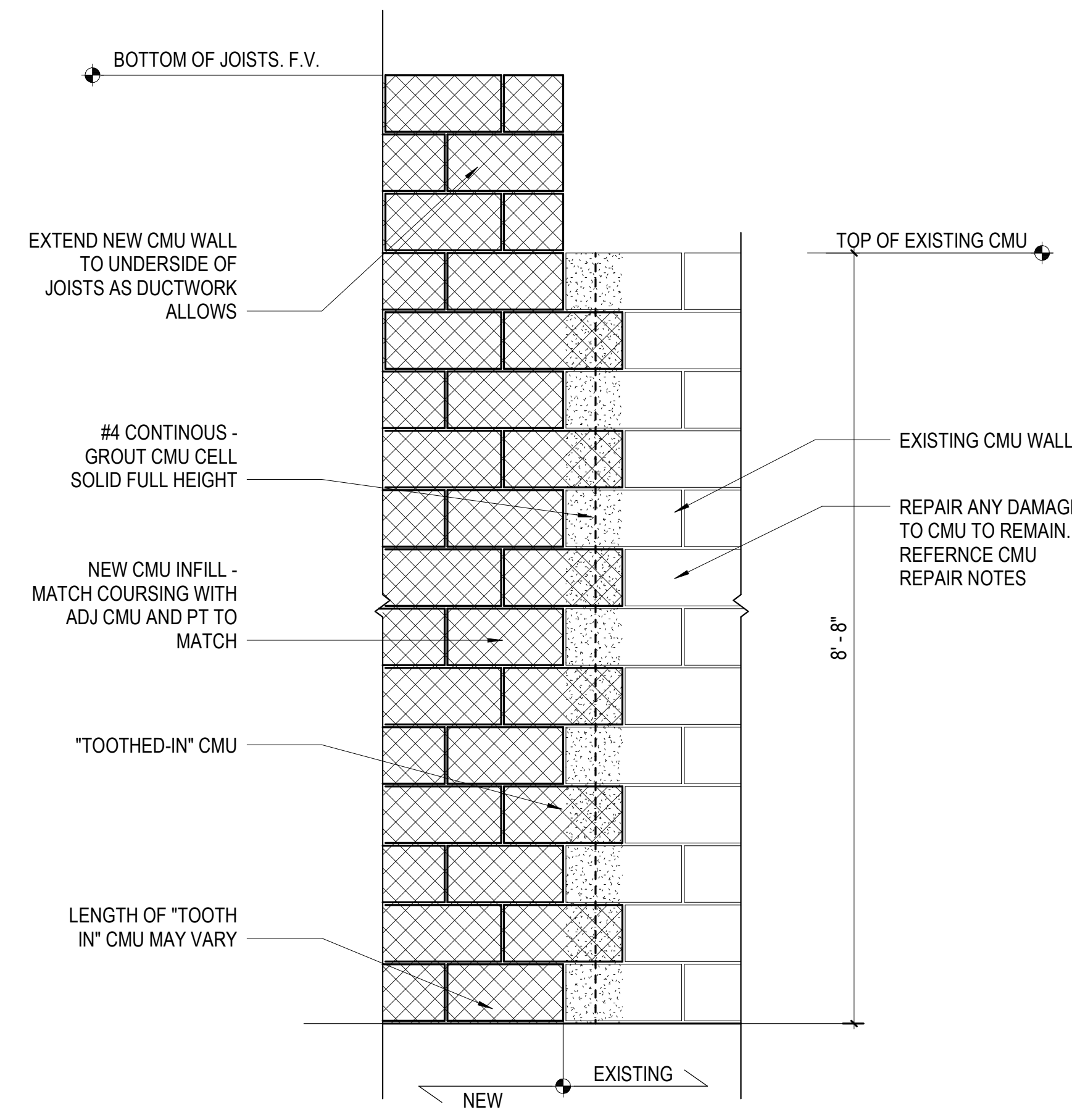
NEW CMU DOOR OPENING IN EXIST. WALL
SCALE: 3/4" = 1'-0"

GENERAL NOTES

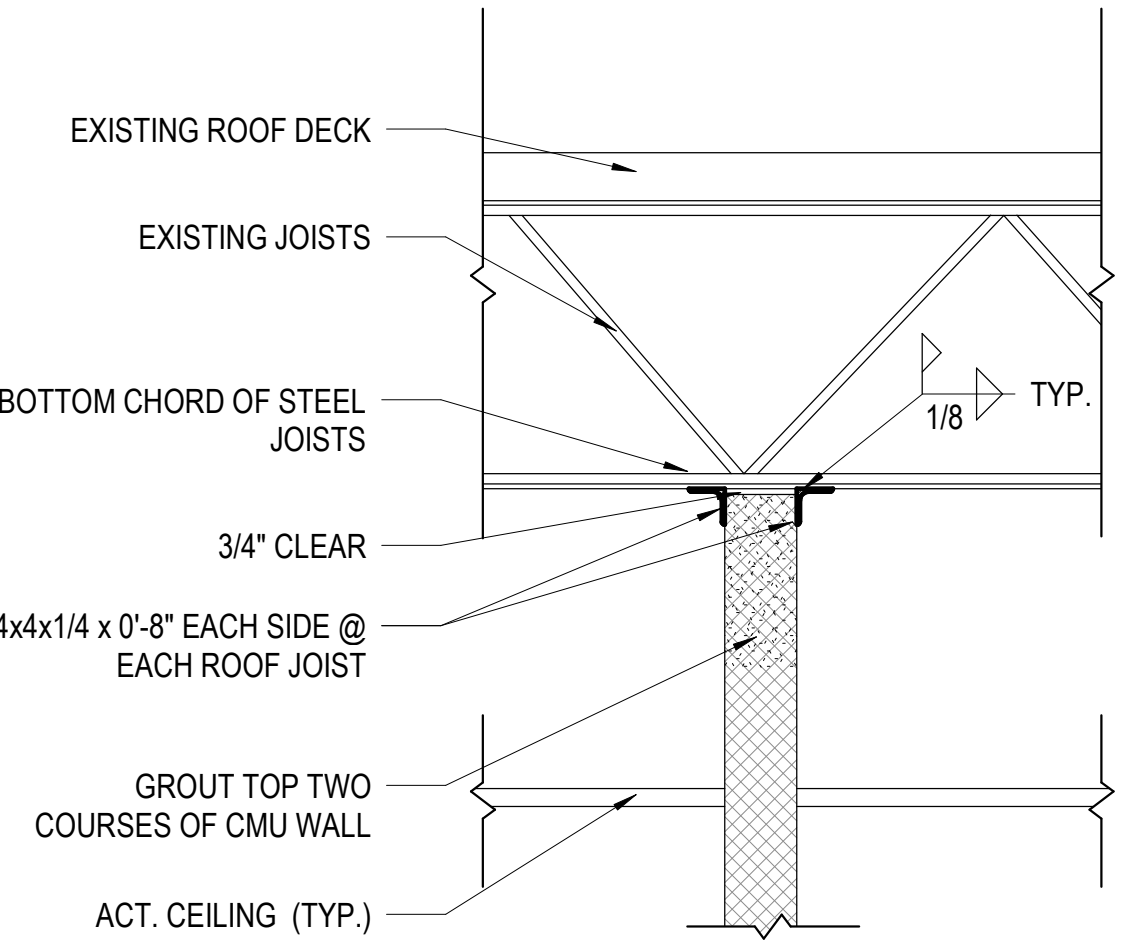
- M-1: ALL MASONRY WORK SHALL CONFORM TO THE REQUIREMENTS OF TMS 402/602-16 "BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES."
- ASTM C90 (BLOCK)
 - ASTM C270 (MORTAR) - TYPE S (CMU)
 - ASTM C476 (GROUT) - 2000 PSI MINIMUM COMPRESSIVE STRENGTH
 - Fc=2000 PSI
 - ASTM A615 GRADE 60 (REINFORCING)
- M-2: SOLIDLY FILL COLLAR JOINTS WITH MORTAR AS THE WORK PROGRESSES.
- M-3: PROVIDE STEEL SLEEVES AT PIPE PENETRATIONS
- M-4: USE LADDER TYPE (NOT TRUSS TYPE) REINFORCING IN HORIZONTAL MORTAR JOINTS @ 16" O.C. VERTICALLY
- M-5: GROUT SLUMP SHALL BE 8" TO 11". PLACE GROUT PER TMS 602 SECTION 3.5 AND CONSOLIDATE BY VIBRATION. RECONSOLIDATE BY VIBRATION AFTER INITIAL WATER LOSS AND SETTLEMENT HAS OCCURRED.

MASONRY REPAIR NOTES

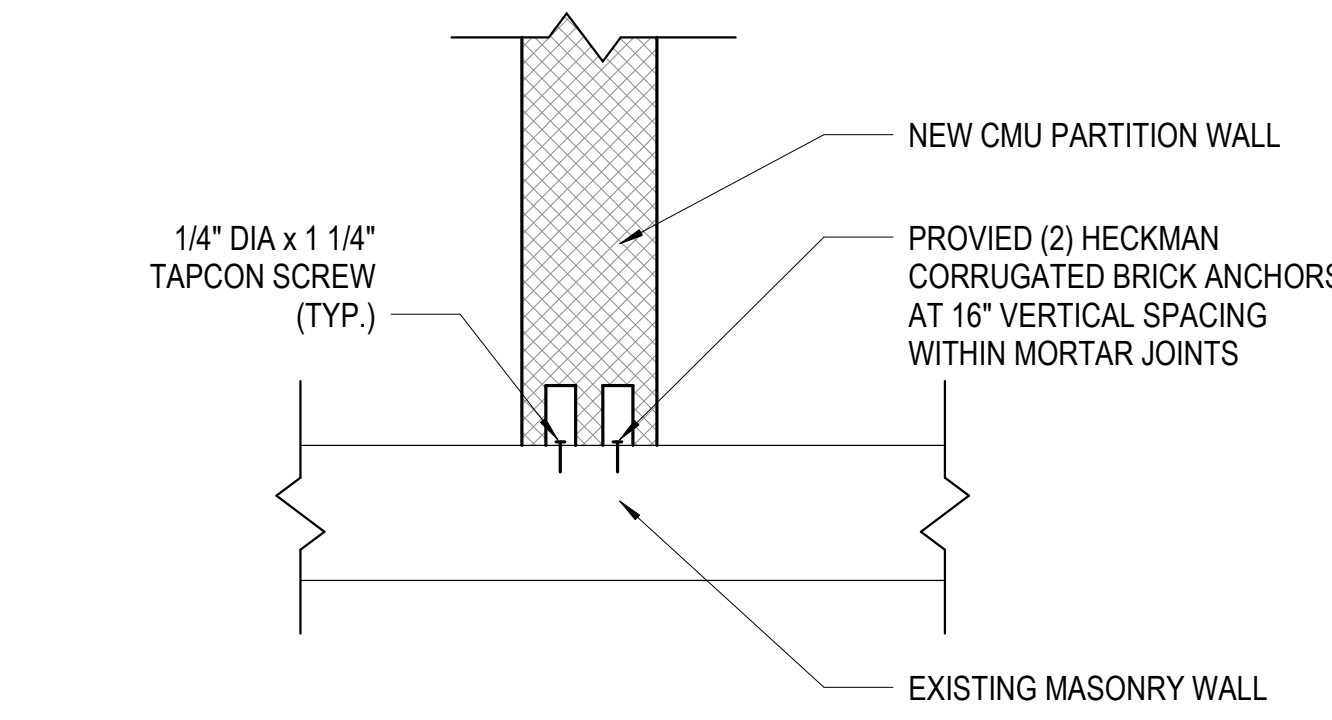
- REPAIR ALL VISIBLE CRACKS IN MORTAR JOINTS AS FOLLOWS:
 - RAKE OUT MORTAR FROM JOINTS TO DEPTHS EQUAL TO 2 1/2 TIMES THEIR WIDTHS BUT NOT LESS THAN 1/2 INCH NOR LESS THAN THAT REQUIRED TO EXPOSE SOUND, UNDAMAGED MORTAR. CUT OUT DAMAGED MORTAR BY HAND WITH A CHISEL AND MALLET.
 - REMOVE MORTAR FROM MASONRY SURFACES WITHIN RAKED-OUT JOINTS TO PROVIDE REVEALS WITH SQUARE BACKS AND TO EXPOSE MASONRY FOR CONTACT WITH POINTING MORTAR. BRUSH, VACUUM OR FLUSH JOINTS TO REMOVE DIRT AND LOOSE DEBRIS.
 - DO NOT SPALL EDGES OF MASONRY UNITS OR WIDEN JOINTS. REPLACE DAMAGED MASONRY JOINTS.
 - CLEAN MASONRY JOINT SURFACES WITH WATER TO REMOVE DUST AND MORTAR PARTICLES. TIME THE RINSING APPLICATION SO THAT AT THE TIME OF POINTING EXCESS WATER HAS EVAPORATED OR RUN OFF AND JOINT SURFACES ARE DAMP BUT FREE OF STANDING WATER.
 - PREHYDRATE MORTAR TO REDUCE EXCESSIVE SHRINKAGE. MIX ALL DRY INGREDIENTS THOROUGHLY. ADD ONLY ENOUGH CLEAN WATER TO THE DRY MIX TO PRODUCE A DAMP, UNWORKABLE CONSISTENCY WHICH WILL RETAIN ITS SHAPE WHEN FORMED INTO A BALL. LET THE MORTAR STAND IN THIS DAMPENED CONDITION FOR 1 TO 1-1/2 HRS THEN ADD WATER TO BRING IT TO A WORKABLE CONSISTENCY (SOMEWHAT DRIER THAN CONVENTIONAL MORTAR). USE MORTAR WITHIN 30 MINUTES OF FINAL MIXING. DO NOT RETEMPER OR USE PARTIALLY HARDENED MATERIAL.
 - APPLY THE FIRST LAYER OF POINTING MORTAR TO AREAS WHERE EXISTING MORTAR WAS REMOVED TO DEPTHS GREATER THAN SURROUNDING AREAS. APPLY IN LAYERS NOT GREATER THAN 3/8 INCH UNTIL A UNIFORM DEPTH IS FORMED. COMPACT EACH LAYER THOROUGHLY AND ALLOW IT TO BECOME THUMBPRINT HARD BEFORE APPLYING THE NEXT LAYER.
 - AFTER JOINTS HAVE BEEN FILLED TO A UNIFORM DEPTH, PLACE REMAINING POINTING MORTAR IN THREE LAYERS WITH EACH OF FIRST AND SECOND LAYERS FILLING APPROXIMATELY TWO FIFTHS OF JOINT DEPTH AND THIRD LAYER THE REMAINING ONE FIFTH. FULLY COMPACT EACH LAYER AND ALLOW TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER. TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED MASONRY SURFACES OR TO FEATHEREDGE MORTAR.
 - WHEN MORTAR IS THUMBPRINT HARD, TOOL JOINTS TO MATCH ORIGINAL APPEARANCE OF JOINTS. REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY BRUSHING.
 - CURE MORTAR BY MAINTAINING IN A DAMP CONDITION FOR NOT LESS THAN 72 HOURS.
- REMOVE ALL MASONRY UNITS (BRICK OR CMU) THAT ARE DAMAGED, SPALLED OR DETERIORATED AS FOLLOWS:
 - CUT OUT FULL UNITS BY HAND FROM JOINT TO JOINT AND IN A MANNER TO PERMIT REPLACEMENT WITH FULL SIZE UNITS WITHOUT DAMAGING SURROUNDING MASONRY. FOR EASE OF REMOVAL, THE UNITS TO BE REMOVED CAN BE BROKEN.
 - SUPPORT AND PROTECT REMAINING MASONRY SUPPORTED BY REMOVED UNITS.
 - REMOVE MORTAR, LOOSE PARTICLES AND DEBRIS FROM EXISTING MASONRY SURROUNDING EXISTING UNITS IN PREPARATION FOR REPLACEMENT. CLEAN WITH STIFF BRUSHES OR BY FLUSHING WITH WATER AND COMPRESSED AIR. DO NOT ALLOW DEBRIS TO FALL INTO THE CAVITY.
- REPLACE DAMAGED MASONRY UNITS AS FOLLOWS:
 - SET REPLACEMENT UNITS IN A FULL BED OF MORTAR WITH BOTH HORIZONTAL AND VERTICAL JOINTS OF SAME WIDTH AS EXISTING UNITS.
 - POINT NEW MORTAR JOINTS TO COMPLY WITH REQUIREMENTS FOR REPOINTING EXISTING MASONRY AS NOTED IN NOTE 1 ABOVE.
 - WHEN MORTAR IS THUMBPRINT HARD, TOOL JOINT TO MATCH ORIGINAL PROFILE. REMOVE EXCESS MORTAR BY BRUSHING.
- TOOTH NEW MASONRY INTO EXISTING WALL JAMB CONSTRUCTION AT ALL INFILL CONDITIONS AT EXISTING DOORS AND WINDOWS.
- FILL ALL HOLES IN MASONRY WALLS CREATED BY DEMOLISHED MECHANICAL DUCTWORK WITH CMU THAT MATCHES THICKNESS OF EXISTING WALL.



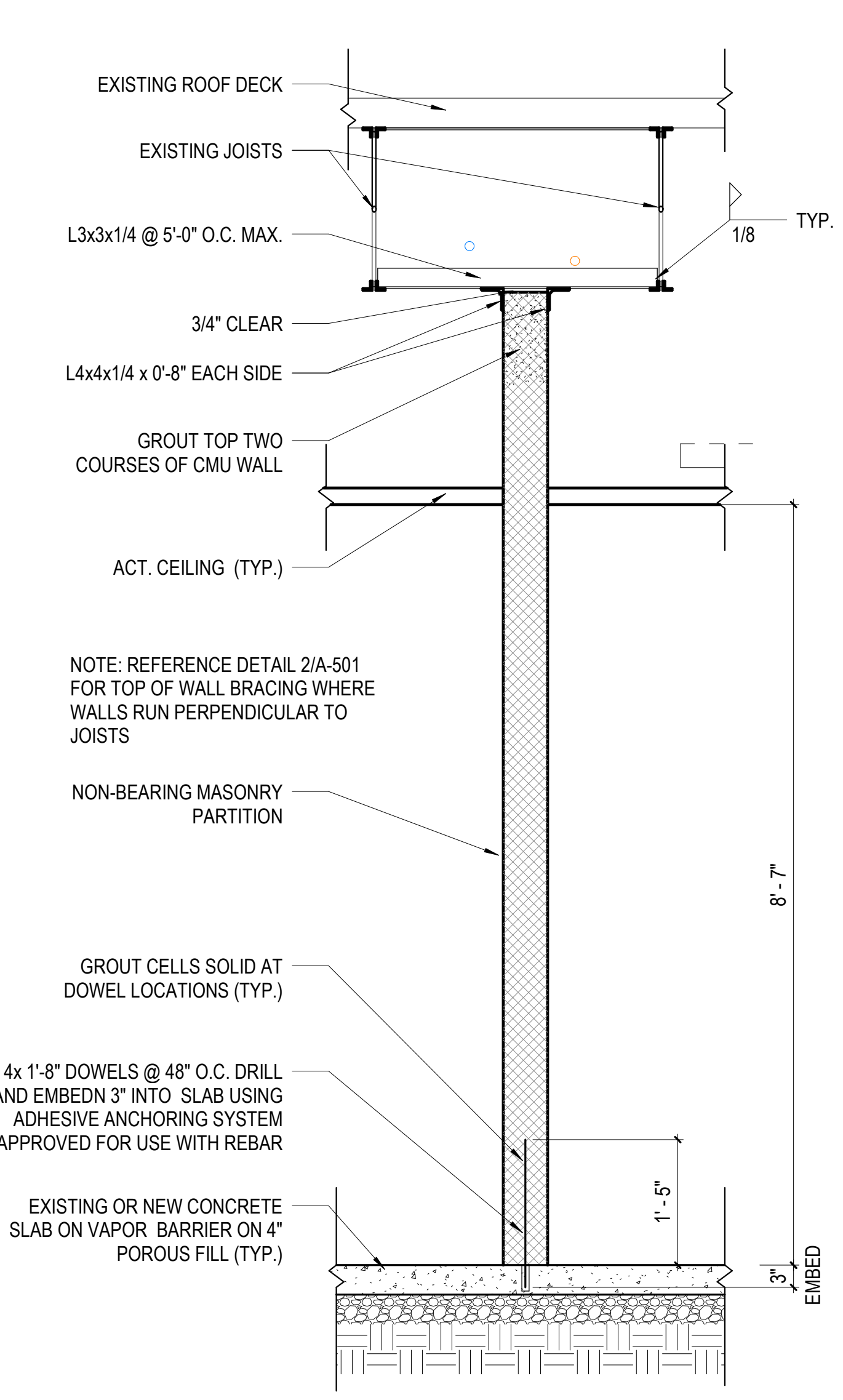
CMU WALL EXTENSION DETAIL
SCALE: 3/4" = 1'-0"



MASONRY WALL BRACING PERP. TO JOISTS
SCALE: 3/4" = 1'-0"



TYP. PLAN DETAIL - NEW WALL PERP. TO EXISTING
SCALE: 1/2" = 1'-0"



NON STRUCTUAL CMU WALL DETAIL
SCALE: 3/4" = 1'-0"

DATE	04/24/2023	DESIGNED	Designer	AUTHOR	Author
PROJECT	21215-00	DRAWN	Checked	MARK	DATE
				REVISIONS	DESCRIPTION

DATE	04/24/2023	DESIGNED	Designer	AUTHOR	Author
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				REVISIONS	DESCRIPTION

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(804) 277-8987

Jeffrey A. Harris
ARCHITECT
4/24/2023

DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

MASONRY WALL DETAILS

SHEET
A-501

4/24/2023 10:23:20 AM BIM 360://21215-01 Dinwiddie County Public Schools/21215-00/21 DCPSS Southside ES - ARCH.rvt

GENERAL NOTES

APPLIES TO SHEET **A-502**

1. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. EXAMINE ALL PLUMBING, MECHANICAL, AND ELECTRICAL DOCUMENTS. MUCH OF THE INFORMATION IS NOT REPEATED OR SHOWN IN THE ARCHITECTURAL DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL VERIFY LOCATIONS AND EXTENT OF INSERTS, ANCHORS, PENETRATIONS, ETC, REQUIRED BY PLUMBING, MECHANICAL AND ELECTRICAL TRADES.
3. EXISTING CONSTRUCTION SHOWN HALFTONE FOR CLARITY-TYP UON.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR DETERMINATION OF DIMENSIONAL ADJUSTMENTS.
5. PATCH AND REPAIR ALL EXISTING CONCRETE FLOOR SLABS DAMAGED BY DEMOLITION OPERATIONS WITH CONCRETE TO MATCH EXISTING.
6. PAINT ALL WALLS WHERE DEMOLITION OCCURRED TO CREATE A SEAMLESS TRANSITION BETWEEN NEW AND EXISTING CONDITIONS.
7. PENETRATIONS THROUGH FIRE RATED CONDITIONS SHALL BE CONSTRUCTED AND SEALED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE RATED ASSEMBLY. PIPES, CONDUITS, DUCTS, STRUCTURAL MEMBERS, OR OTHER CONSTRUCTION SHALL BE FIRESTOPPED. FIRESTOPPING SHALL BE PERFORMED USING MATERIALS COMPLYING WITH THE BUILDING CODES AND STANDARDS APPLICABLE TO THIS PRODUCT AS INTERPRETED BY THE BUILDING OFFICIAL(S) HAVING JURISDICTION.
8. COORDINATE WITH OWNER FOR LOCATIONS OF CONCEALED BLOCKING IN WALLS. ALL BLOCKING MUST BE FIRE RETARDANT.
9. PROVIDE SOLID FIRE RETARDANT TREATED WOOD BLOCKING WITHIN STUD AND FURRING SPACES BEHIND ALL WALL MOUNTED ACCESSORIES, EQUIPMENT, ETC AS REQUIRED.
10. AT STUD WALLS, UNLESS OTHERWISE NOTED, DOOR FRAMES ARE TO BE LOCATED 4" FROM NEAREST PERPENDICULAR WALL.
11. ALL MODIFICATIONS TO THE EXISTING ONE-HOUR CORRIDOR PARTITIONS SHALL MAINTAIN A ONE HOUR RATING. THE TOP OF THE PARTITIONS MUST BE SEALED TO THE STRUCTURE ABOVE TO MAINTAIN THE ONE HOUR RATING.

DATE	PROJECT	DESIGNED	DRAWN	AV / QP	AV	AV
04/24/2023	21215-00	AV	AV	AV	AV	AV

DATE	PROJECT	DESIGNED	DRAWN	AV / QP	AV	AV
04/24/2023	21215-00	AV	AV	AV	AV	AV

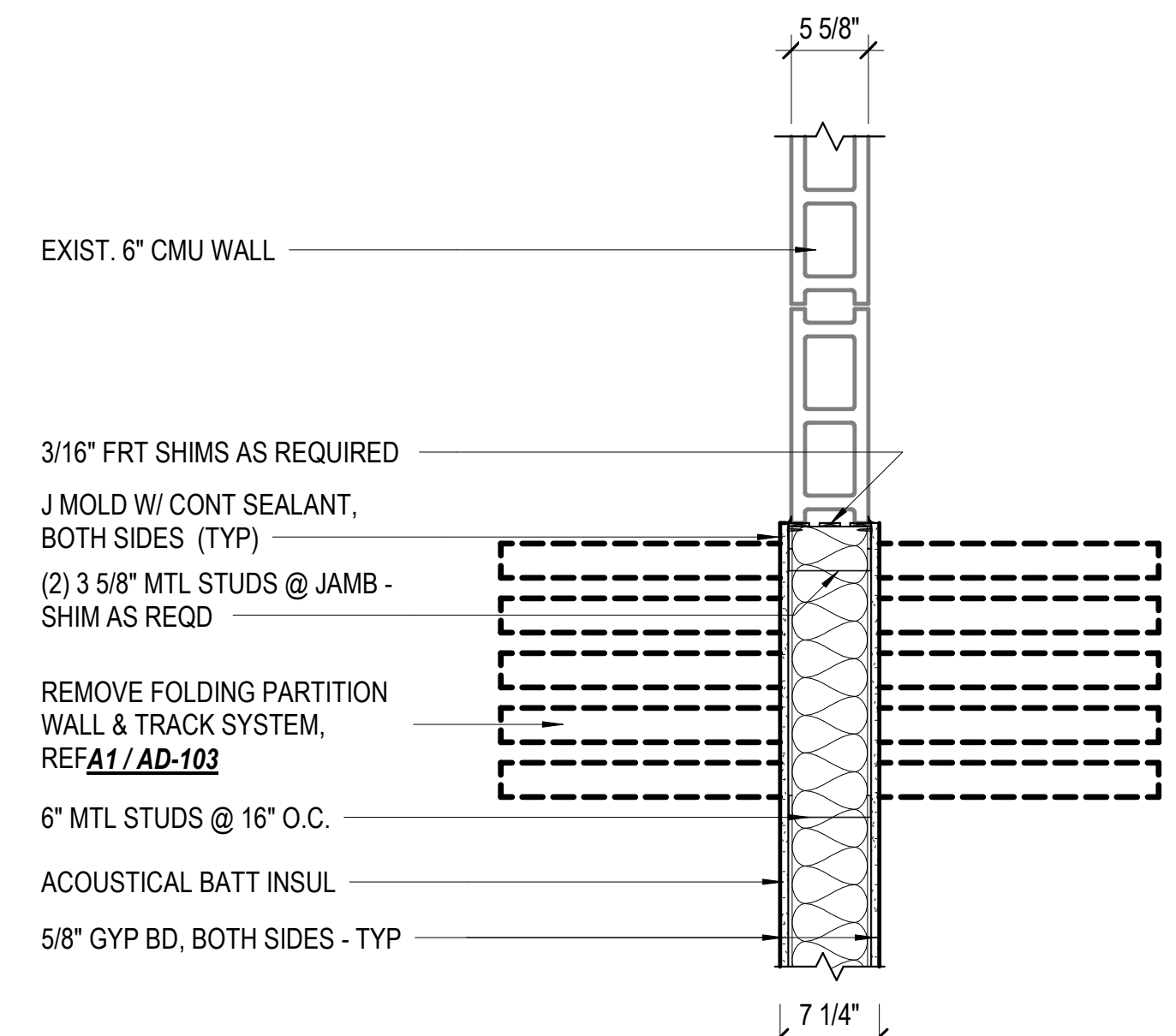
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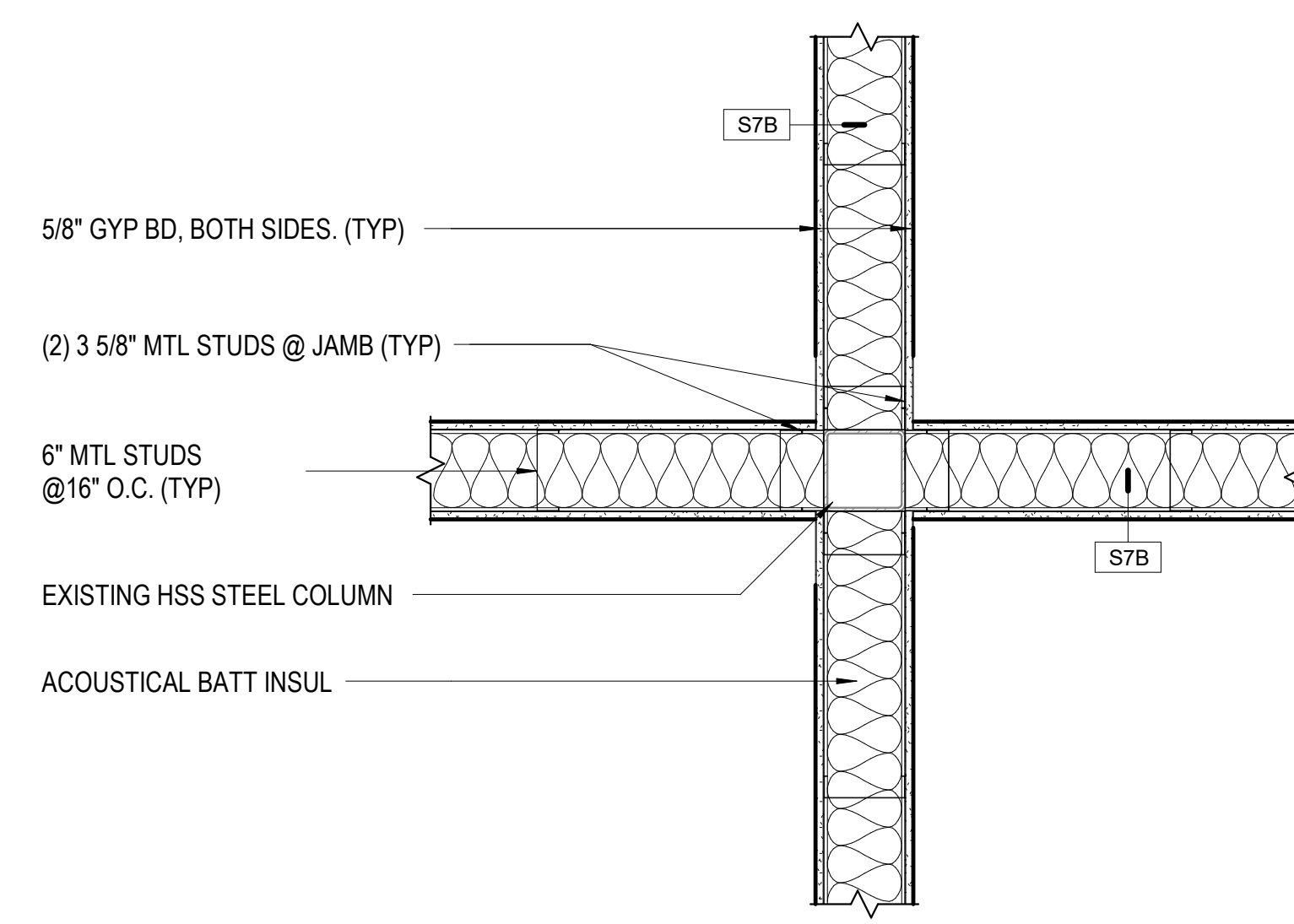
Jeffrey A. Harris
 License No. 10748
 4/24/2023
 ARCHITECT

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SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

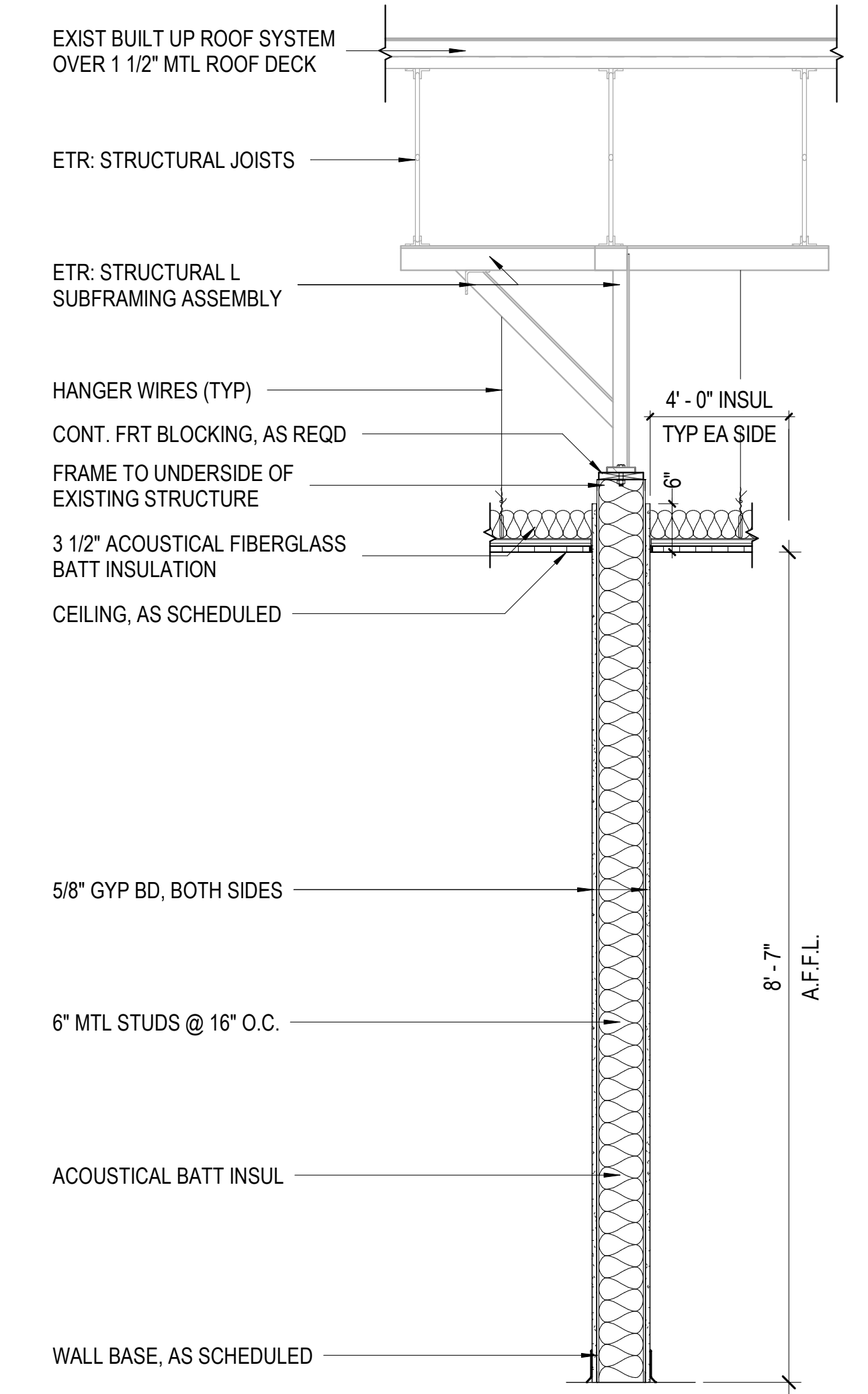
DETAILS
 DRAWING



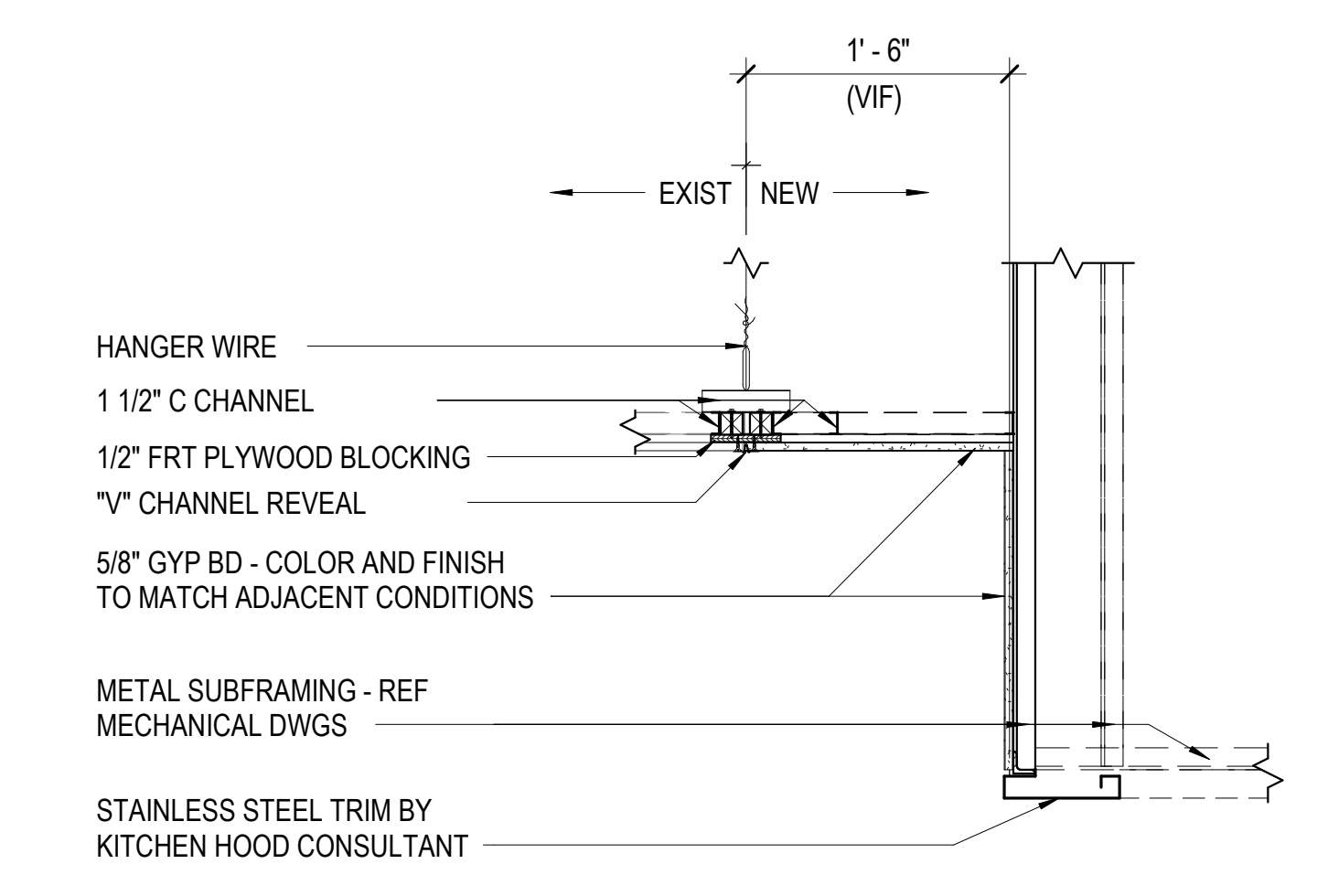
E1 PLAN DETAIL - WALL JAMB @ CMU
 SCALE: 1" = 1'-0"



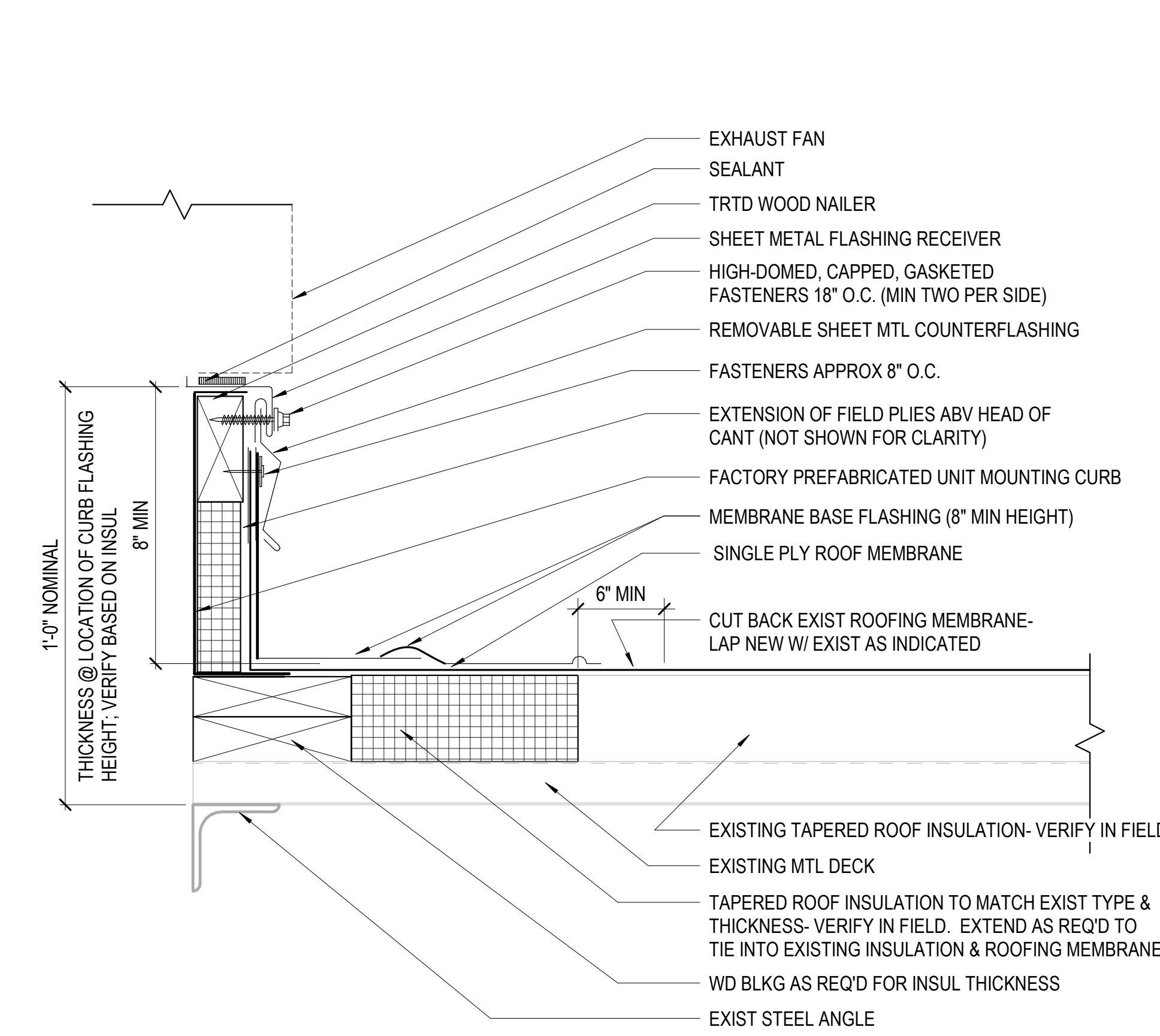
C1 PLAN DETAIL - WALL INTERSECTION @ EXIST COL
 SCALE: 1" = 1'-0"



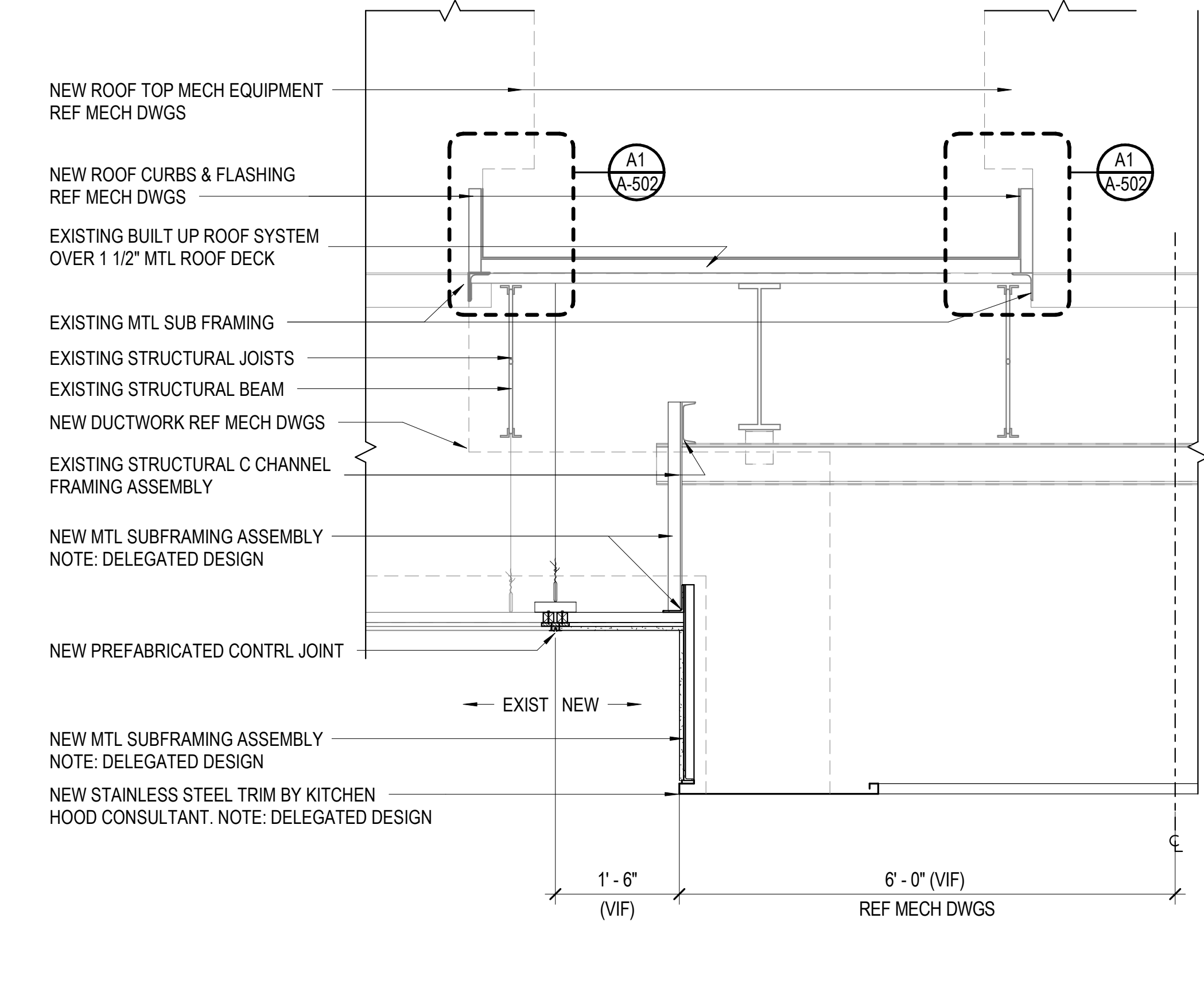
C3 SECTION DETAIL - WALL INFILL HEAD
 SCALE: 3/4" = 1'-0"



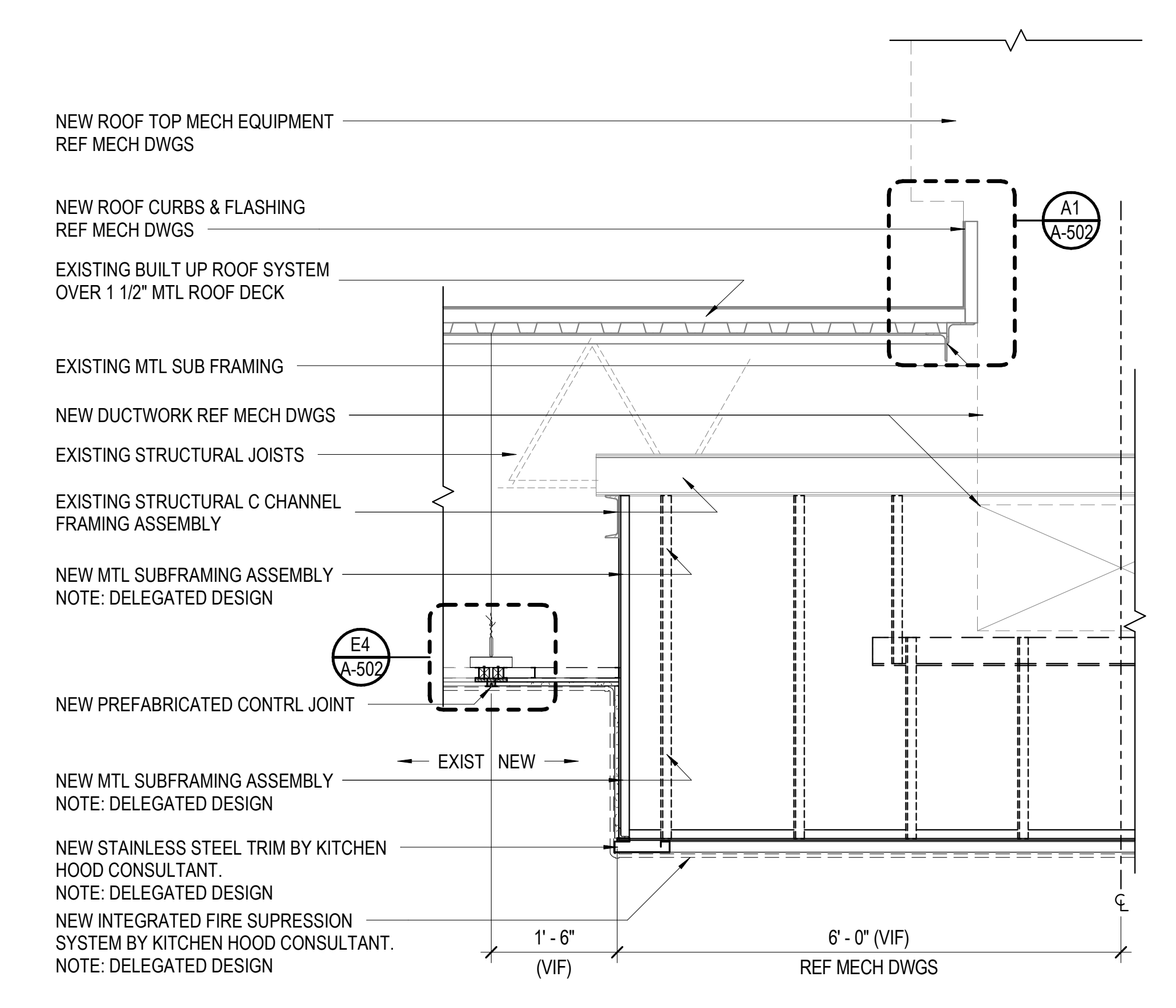
E4 SECTION DETAIL - KITCHEN CEILING
 SCALE: 1" = 1'-0"



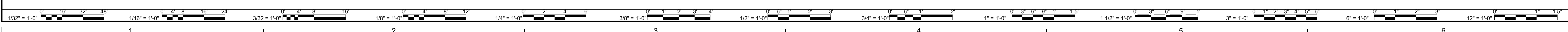
A1 ROOF DETAIL - TYP ROOF FAN EXHAUST CURB
 SCALE: 3" = 1'-0"



A3 SECTION DETAIL - KITCHEN HOOD @ MECH RTU'S
 SCALE: 3/4" = 1'-0"

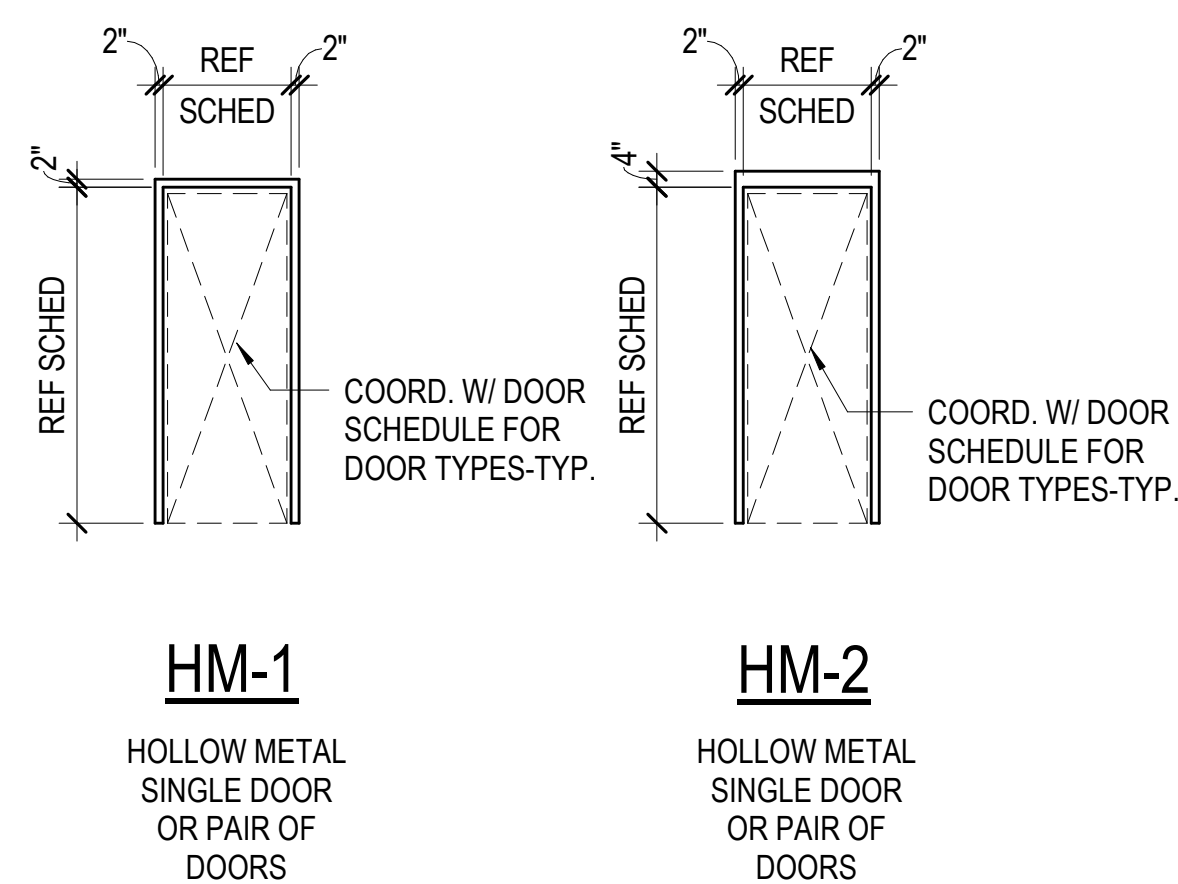


A6 SECTION DETAIL - KITCHEN HOOD @ EXHAUST
 SCALE: 3/4" = 1'-0"



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A-502



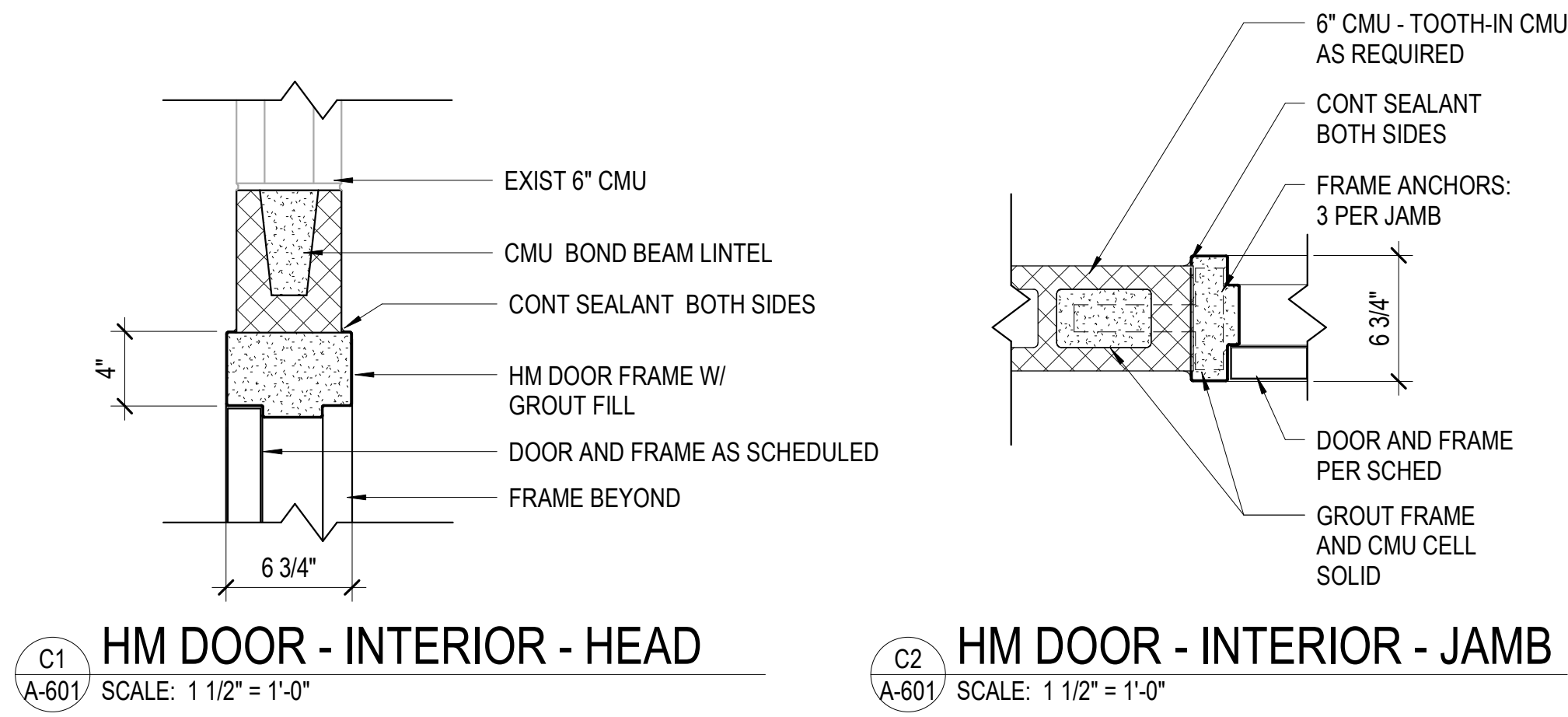
TYPICAL DOOR TYPES
NOT TO SCALE

TYPICAL DOOR FRAME TYPES
NOT TO SCALE

DOOR SCHEDULE														
NUMBER	TYPE	MATL	DOOR			FRAME			DETAILS			RATING (MIN)	HDWR SET	NOTES
			WIDTH	HEIGHT	THICKNESS	TYPE	MAT	HEAD	JAMB	SILL				
132	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
132A	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (S)	1	
133	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
133A	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	STO	1	
135	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
135A	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (S)	1	
149	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (S)	1	
150	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	JC	1	
175	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
179	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
192	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	T LOUNGE	1	
198	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (G)	1	
203	A	WD	3'-0"	7'-0"	1 3/4"	HM-2	HM	C1/A-601	C2/A-601		N/A	TLT (S)	1	

GENERAL DOOR SCHEDULE NOTES

- HOLLOW METAL FRAMES INCLUDE HOLLOW METAL FRAMED CASED OPENINGS, INTERIOR VIEW WINDOWS AND DOOR FRAMES.
- FIELD VERIFY ALL OPENING DIMENSIONS FOR FLUSH FRAMES PRIOR TO FABRICATION.
- PROVIDE JAMB ANCHORS AT ALL DOORS, HOLLOW METAL CASED OPENINGS AND INTERIOR VIEW WINDOWS. (3 MINIMUM PER JAMB, OR AS REQUIRED TO MEET DESIGN WIND LOADS).
- PROVIDE CONTINUOUS SEALANT AT BOTH SIDES OF ALL FRAMES ABUTTING CMU / GWB WALLS.
- AT ALL METAL STUD PARTITIONS, PROVIDE DOUBLE STUDS AT DOOR FRAME JAMBS AND DOUBLE HEADER STUDS AT DOOR FRAME HEADS.
- AT ALL MASONRY WALLS, FILL DOOR FRAME JAMBS SOLID WITH MORTAR.
- REFERENCE STRUCTURAL DRAWINGS FOR CMU BOND BEAM LINTELS AND STEEL ANGLE LINTELS NOT SIZED IN DOOR AND FRAME DETAILS.

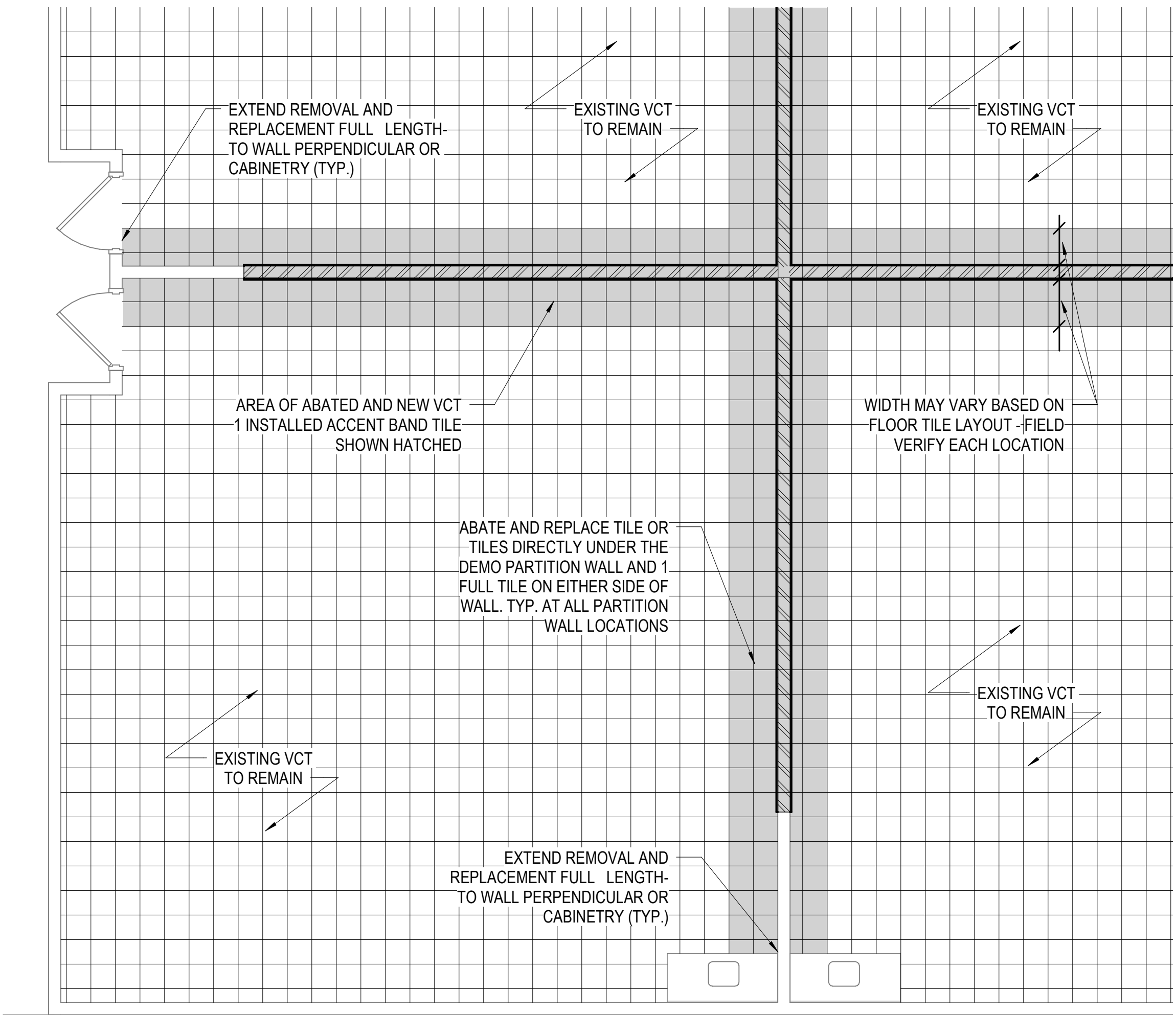


HM DOOR - INTERIOR - HEAD
SCALE: 1 1/2" = 1'-0"

HM DOOR - INTERIOR - JAMB
SCALE: 1 1/2" = 1'-0"

DOOR SCHEDULE NOTES

- DOOR GRILLE, AS SCHEDULED. REF. MECHANICAL DWGS.
- PROVIDE DOOR AND FRAME ASSEMBLY WITH STC RATING OF 56 OR GREATER.



ENLARGED FLOOR PATTERN DETAIL
SCALE: 1/4" = 1'-0"

#	MAT	MANUF / PRODUCT	DETAIL
TS1	STAINLESS STEEL	SCHLUTER RENO-EU (OR EQ)	

- FINISH SCHEDULE NOTES**
- REFER TO **A5/A-402** FOR TYPICAL STAFF RESTROOM WALL TILE PATTERN. CONTINUE AT ALL WALLS.
 - REFER TO **B1/A-402** FOR TYPICAL GIRLS RESTROOM WALL TILE PATTERN. CONTINUE AT ALL WALLS.
 - REFER TO **B3/A-402** FOR TYPICAL BOYS RESTROOM WALL TILE PATTERN. CONTINUE AT ALL WALLS.
 - REFER TO DETAIL **EPB/A-401** FOR TYPICAL EPOXY COVE BASE DETAIL.

TRANSITION STRIP DETAILS
NOT TO SCALE

ROOM NUMBER	ROOM NAME	FLOOR	WALL BASE	WALLS				CEILING	NOTES
				N	S	E	W		
132	GIRLS	EPX2	EXPB2	CT4.5PT1	CT4.5PT1	CT4.5PT1	CT4.5PT1	ACT1	2.4
132A	UNISEX STAFF	EPX1	EXPB1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	ACT1	1.4
133	WOMEN	EPX1	EXPB1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	ACT1	1.4
133A	STORAGE	CPT1	RB1	PT1	PT1	PT1	PT1	ACT1	1.4
135	BOYS	EPX2	EXPB2	CT4.6PT1	CT4.6PT1	CT4.6PT1	CT4.6PT1	ACT1	3.4
136A	UNISEX STAFF	EPX1	EXPB1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	ACT1	1.4
149	TOILET	EPX1	EXPB1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	CT1.2,3PT1	ACT1	1.4
175	GIRLS	EPX2	EXPB2	CT4.5PT1	CT4.5PT1	CT4.5PT1	CT4.5PT1	ACT1	2.4
179	BOYS	EPX2	EXPB2	CT4.6PT1	CT4.6PT1	CT4.6PT1	CT4.6PT1	ACT1	3.4
192	TEACHER'S LOUNGE	CPT1	RB1	FIELD MATCH EXISTING	FIELD MATCH EXISTING	FIELD MATCH EXISTING	FIELD MATCH EXISTING	ACT1	3.4
198	GIRLS	EPX2	EXPB1	CT4.5PT1	CT4.5PT1	CT4.5PT1	CT4.5PT1	ACT1	2.4
203	BOYS	EPX2	EXPB1	CT4.6PT1	CT4.6PT1	CT4.6PT1	CT4.6PT1	ACT1	3.4

FINISH LEGEND					
SYMBOL	PRODUCT	MANUFACTURER	PRODUCT # / STYLE	COLOR	NOTES
BASE					
EPXB1	EPOXY BASE	SHERWIN WILLIAMS	FASTOP DECO FLAKE SL45	GROUND HAZELNUT	--
EPXB2	EPOXY BASE	SHERWIN WILLIAMS	FASTOP DECO FLAKE SL45	BLUE SHADOW	--
RB1	RUBBER BASE	ARMSTRONG	4" COVE BASE	MATCH EXISTING	--
CEILING					
ACT1	ACOUSTICAL CEILING TILE	ARMSTRONG	793 GEORGIAN HIGH WASHABILITY	TBD	24 x 48" TILE, 15/16" GRID
PT1	PAINT	SHERWIN WILLIAMS	REFER TO SPECIFICATION FOR PRODUCT TYPE PER SUBSTRATE	SW7006 EXTRA WHITE	--
PT2	PAINT	SHERWIN WILLIAMS	REFER TO SPECIFICATION FOR PRODUCT TYPE PER SUBSTRATE	SW7007 CEILING BRIGHT WHITE (WHITE)	--
FLOOR					
CPT1	12x12 VINYL COMPOSITION TILE	BOD: ARMSTRONG WORLD INDUSTRIES	EXELON IMPERIAL TEXTURE	AS SELECTED BY OWNER	--
EPX1	EPOXY FLOORING	SHERWIN WILLIAMS	FASTOP DECO FLAKE SL45	GROUND HAZELNUT	--
EPX2	EPOXY FLOORING	SHERWIN WILLIAMS	FASTOP DECO FLAKE SL45	BLUE SHADOW	--
VCT1	12x12 VINYL COMPOSITION TILE	BOD: ARMSTRONG WORLD INDUSTRIES	EXELON IMPERIAL TEXTURE	AS SELECTED BY OWNER	--
MISCELLANEOUS					
GR1	GROUT	MAPEI	KERAPOXY	14 BISCUIT (LIGHT BEIGE)	USE WITH WALL TILE
MT1	METAL TRIM	SCHLUTER	JOLLY PROFILE	SATIN ANODIZED ALUMINUM	90 DEGREE CORNER. USE WITH EPXB1 OR EPXB2 AND EDGE OF CT WALLS
MT2	METAL TRIM	SCHLUTER	RONDEC PROFILE	STAINLESS STEEL	ROUNDED CORNER. USE AT CORNERS OF CT WALLS
TP1	TOILET PARTITION	SCRANTON PRODUCTS	HINY HIDERS	GREY	ORANGE PEEL FINISH, FLOOR MOUNTED/OVERHEAD BRACED
WALLS					
CT1	CERAMIC TILE	DALTILE	COLOR WHEEL LINEAR	K175 BISCUIT (TAN)	4" x 12" TILES
CT2	CERAMIC TILE	DALTILE	COLOR WHEEL LINEAR	0109 ARCHITECTURAL GRAY (GRAY)	4" x 12" TILES
CT3	CERAMIC TILE	DALTILE	COLOR WHEEL LINEAR	X114 MATTE GRAY (DARK GRAY)	4" x 12" TILES
CT4	CERAMIC TILE	DALTILE	COLOR WHEEL CLASSIC	1174 SEA BREEZE (DARK BLUE)	3" x 6" TILES
CT5	CERAMIC TILE	DALTILE	COLOR WHEEL CLASSIC	1012 MUSTARD (GOLD)	3" x 6" TILES
CT6	CERAMIC TILE	DALTILE	COLOR WHEEL CLASSIC	0169 WATERFALL (LIGHT BLUE)	3" x 6" TILES

FINISH LEGEND NOTES

- THE FINISH SCHEDULE INDICATES ONLY THE BASIC OR PREDOMINANT SURFACE FINISHES OF EACH SPACE. REFER ALSO TO PLAN KEY NOTES, DETAILS AND SPECIFICATIONS FOR THE FULL RANGE AND EXTENT OF ALL FINISHES REQUIRED TO COMPLETE THE WORK FOR EACH SPACE.
- CONTRACTOR TO CHECK AND COORDINATE LEAD TIMES AND REQUIREMENTS FOR FINISHES REQUIRED TO COMPLETE THE WORK FOR EACH SPACE.
- PROVIDE GR1 (EPOXY GROUT) WITH WALL TILES.
- PROVIDE METAL TRIM UNITS AT ALL EXPOSED EDGES OF CERAMIC WALL TILE AT ALL OUTER CORNERS OF TILES. REFER TO DETAILS **CT1/A-401MT1/A-401** AND **MT2/A-401**.

4/24/2023 10:23:28 AM BIM 360://12115-01 Dinwiddie County Public Schools/215-09-01 DCPSS Southside ES - ARCH.rvt

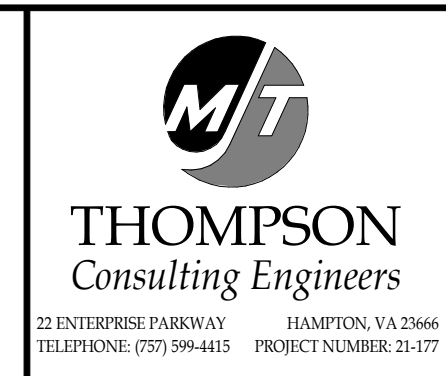
PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 DRAWING: DOOR & FINISH LEGENDS, SCHEDULES & NOTES
 SHEET: A-601

DATE: 04/24/2023
 PROJECT: 21215-00
 DESIGNED: AV
 DRAWN: HP/JP
 CHECKED: MP

MARK: DATE
 REVISIONS:

DESCRIPTION: BY:

RRMM ARCHITECTS, PC
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ABBREVIATIONS

ABV	ABOVE	HWR	HOT WATER RECIRCULATING
AD	ACCESS DOOR	HWRP-1	HOT WATER RECIRCULATING PUMP MARK
ADA	AMERICANS WITH DISABILITIES ACT	HZ	HERTZ
AFF	ABOVE FINISHED FLOOR	INV	INVERT
BFF	BELOW FINISHED FLOOR	KW	KILOWATT
CLG	CEILING	MV-1	MIXING VALVE MARK
CO	CLEANOUT	NO.	NUMBER
CW	COLD WATER	P-1	FIXTURE MARK
DWV	DRAIN, WASTE & VENT	PH	PHASE
ET-1	THERMAL EXPANSION TANK	SHT	SHEET
EXIST	EXISTING	TYP	TYPICAL
FCO	FLOOR CLEANOUT	V	VENT OR VOLTS
FLR	FLOOR	W	SANITARY WASTE
GPH	GALLONS PER HOUR	WCO	WALL CLEANOUT
HP	HORSEPOWER	WH-1	WATER HEATER DESIGNATION
HW	HOT WATER		

LEGEND

— — — — —	EXISTING COLD WATER PIPING	— BV —	BALANCING VALVE
— CW —	COLD WATER PIPING	— φ —	BALL VALVE
— — — — —	EXISTING HOT WATER PIPING	— Z —	CHECK VALVE, HORIZONTAL SWING
— HW —	HOT WATER PIPING	— Z —	DOUBLE CHECK BACKFLOW PREVENTER
— — — — —	EXISTING HOT WATER RECIRCULATING PIPING	— C —	BALL VALVE IN VERTICAL
— HWR —	HOT WATER RECIRCULATING PIPING	— M —	MIXING VALVE
— SAN —	EXISTING SANITARY WASTE PIPING	— PR —	PRESSURE RELIEF VALVE
— SAN —	SANITARY WASTE PIPING	— T —	DIAL FACE THERMOMETER
— — — — —	EXISTING STORM SEWER PIPING	— VRV —	VACUUM RELIEF VALVE
— — — — —	EXISTING VENT PIPING	— WHA(A) —	WATER HAMMER ARRESTER, SIZE "A"
— — — — —	VENT PIPING	— — — — —	EXISTING TO REMAIN
— U —	THREADED UNION	— — — — —	EXISTING TO BE REMOVED
— C —	PIPE CAP	— — — — —	NEW WORK
— U —	PIPE UP	— (D) —	DEMOLITION NOTE
— D —	PIPE DOWN	— 1 —	NEW WORK NOTE
— T —	PIPE TEE DOWN	— ● —	REMOVE EXISTING TO THIS POINT
— U —	PIPE TEE UP	— ● —	POINT OF CONNECTION FOR NEW WORK
— — — — —	DIRECTION OF FLOW IN PIPE	— 1 —	ENLARGED PLAN NUMBER
— — — — —	DIRECTION OF SLOPE	— P2.01 —	SHEET NUMBER WHERE ENLARGED PLAN IS SHOWN
— COP —	CLEANOUT PLUG		
— WCO —	WALL CLEANOUT		

PLUMBING FIXTURE SCHEDULE ①

MARK	FIXTURE	MANUFACTURER	MODEL NUMBER	MATERIAL	SIZE	MOUNTING HEIGHT	SUPPLY & DRAIN FITTING	SUPPLY STOPS	TRAP	PIPE ROUGH-IN SIZES				REMARKS
										W	V	HW	CW	
P-1	WATER CLOSET	KOHLER	K-96053	VITREOUS CHINA	15-1/4" TO RIM	FLOOR MOUNTED	SLOAN 111-XL	-	-	4"	2"	-	1"	SEAT: K-4670-SC
P-1A	WATER CLOSET (HANDICAP)	KOHLER	K-96057	VITREOUS CHINA	16-7/8" TO RIM	FLOOR MOUNTED	SLOAN 111-XL	-	-	4"	2"	-	1"	SEAT: K-4670-SC
P-2	LAVATORY	KOHLER	K-2005	VITREOUS CHINA	21-1/4" x 18-1/8"	31" TO RIM	FAUCET: 802-VE-2805-665ABCP DRAIN: 155A	LOOSE KEY	17 GAUGE W/ CLEANOUT	1-1/2"	2"	1/2"	1/2"	② ③
P-2A	LAVATORY (HANDICAP)	KOHLER	K-2005	VITREOUS CHINA	21-1/4" x 18-1/8"	34" TO RIM	FAUCET: 802-VE-2805-665ABCP DRAIN: 155A	LOOSE KEY	17 GAUGE W/ CLEANOUT	1-1/2"	2"	1/2"	1/2"	② ③
P-3	URINAL	KOHLER	K-4991-ET	VITREOUS CHINA	-	24" TO LIP	SLOAN 186-1.0	-	-	2"	2"	-	3/4"	
P-3A	URINAL (HANDICAP)	KOHLER	K-4991-ET	VITREOUS CHINA	-	17" TO LIP	SLOAN 186-1.0	-	-	2"	2"	-	3/4"	

- NOTES:**
- ALL FIXTURES TO BE LOW CONSUMPTION AND VANDAL-RESISTANT.
 - PROVIDE TRUEBRO UNDERSINK PIPE COVER KIT MODEL #102E-Z FOR ALL EXPOSED PIPING BELOW LAVATORY OR SINK.
 - FAUCET BY CHICAGO, DRAIN BY MCGUIRE.

WATER HEATER SCHEDULE

UNIT NUMBER	MANUFACTURER	MODEL NUMBER	ROOM	MOUNTING HEIGHT	STORAGE (GALLONS)	RECOVERY RATE AT TEMPERATURE RISE INDICATED	ELECTRIC			THERMAL EXPANSION TANK			RECIRCULATING PUMP				REMARKS			
							KW	V	PH	NUMBER	AMTROL MODEL	VOLUME (GALS.)	NUMBER	B&G MODEL	FLOW (GPM)	HEAD (FT)		ELECTRIC		
WH-1	A.O. SMITH	DVE-250A	155	FLOOR MOUNTED	250	442 GPH @ 100°ΔT	126	480	3	ET-1	ST-25	10.3	HWRP-1	PR	2	17	1/10	120	1	①
WH-2	A.O. SMITH	DEL-30	174	PLATFORM MOUNTED	30	49 GPH @ 100°ΔT	8	208	3	ET-2	ST-5	2.0	-	-	-	-	-	-	-	②
WH-3	A.O. SMITH	DEL-30	199	PLATFORM MOUNTED	30	49 GPH @ 100°ΔT	8	208	3	ET-3	ST-5	2.0	-	-	-	-	-	-	-	②

- NOTES:**
- SET WATER HEATER AT 140°F.
 - SEE PLATFORM DETAIL, SHEET P-401. PROVIDE MIXING VALVE TM-26-LF BY LEONARD.

PLUMBING DRAIN AND EQUIPMENT SCHEDULE

ITEM	MANUFACTURER	MODEL NUMBER	REMARKS
WATERLESS TRAP SEAL	GREEN DRAIN	SERIES P24000	BARRIER-TYPE TRAP SEAL DEVICE. ASSE 1072 CERTIFIED.
WATER HEATER PLATFORM	HOLDRITE	50-SWHP-W	-

GENERAL NOTES

- PIPING SHALL BE CONCEALED, UNLESS OTHERWISE NOTED.
- PROVIDE PIPE SLEEVES LARGE ENOUGH TO ALLOW FOR LATERAL PIPE MOVEMENT.
- EXERCISE DUE CAUTION INSTALLING RUNOUTS AND BRANCH PIPING FROM MAINS TO ALLOW FOR EXPANSION MOVEMENT.
- ARRANGE EXPOSED AND ABOVE CEILING PIPING TO CLEAR DUCTWORK, CONDUITS, LIGHT FIXTURES, ETC., AND ALLOW FOR PIPE HANGERS AND ACCESS TO VALVES.
- OVERHEAD PIPING IN EXPOSED STRUCTURE AREAS SHALL BE RUN AS CLOSE TO ROOF DECK AS PRACTICABLE AND PARALLEL TO FRAMING WHEN POSSIBLE.
- INSTALL ALL DOMESTIC WATER PIPING ON CONDITIONED SIDE OF BUILDING INSULATION.
- COORDINATE WITH THE CONSTRUCTION PHASING PLANS ON THE ARCHITECTURAL DRAWINGS. COORDINATE ALL ASPECTS OF THE WORK TO COMPLY WITH THE PHASING PLANS.
- FOR ALL LOCATIONS AND HOURLY RATINGS FOR FLOORS, CEILINGS, WALLS AND ROOF, SEE FIRE SAFETY PLANS.
- ALL HOT WATER AND HOT WATER RECIRCULATING PIPING SHALL HAVE A MINIMUM OF ONE INCH THICK INSULATION.
- ALL DOMESTIC WATER PIPING SIZES BASED ON 8 FEET PER SECOND (MAXIMUM RECOMMENDED BY CODE).
- ALL PLUMBING VENTS SHALL BE 2", UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLAN LS-101 FOR PHASING OF AREA A & B. PIPING SERVING AREA B SHALL REMAIN ACTIVE IN AREA A WORK.

GENERAL DEMOLITION NOTES

- REFER TO ARCHITECTURAL PLANS FOR CUTTING AND PATCHING OF FLOORS, WALLS AND CEILINGS.
- THE EXACT LOCATION OF HIDDEN PLUMBING WORK SUCH AS PIPING BELOW THE SLAB OR BELOW GRADE, OR INSIDE OF WALLS IS UNKNOWN. CONTRACTOR SHALL LOCATE ALL PIPING REQUIRED FOR DEMOLITION OR NEW CONNECTIONS USING LOCATING INSTRUMENTS AND/OR EXCAVATION METHODS AS REQUIRED. VERIFY ALL EXISTING PIPE SIZES, MATERIALS AND DEPTH PRIOR TO MAKING NEW CONNECTIONS. MODIFY EXISTING ROUGH-INS AS REQUIRED FOR NEW PLUMBING FIXTURES.
- INVERTS OF EXISTING UNDERGROUND SANITARY PIPING SHALL BE CHECKED AGAINST NEW CONNECTED PIPING LAYOUTS PRIOR TO NEW EXCAVATIONS AND PIPE INSTALLATION. CONTRACTOR SHALL ROUTE PIPING IN A MANNER TO MAINTAIN REQUIRED SLOPE ON PIPING AND MEET EXISTING INVERTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS SOLE EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- COORDINATE WITH OWNER PRIOR TO SHUTTING OFF WATER SUPPLY OR DISRUPTING SEWER USAGE. REFER TO THE SPECIFICATIONS FOR PROCEDURES TO BE FOLLOWED. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING TOILETS AND OTHER PLUMBING FACILITIES WHILE SERVICES ARE NOT AVAILABLE FOR USE.
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ENGINEER ALL FIELD CONDITIONS ENCOUNTERED WHICH ARE NOT SHOWN ON THE DRAWINGS AND WHICH WERE NOT REASONABLY ANTICIPATED.
- WHERE PIPING IS SHOWN TO BE ABANDONED, CAP ALL ABOVE AND BELOW GRADE PIPING FOR A PERMANENT WATERTIGHT SEAL.

NOTE: EXISTING CONDITIONS ILLUSTRATED HAVE BEEN DETERMINED FROM ORIGINAL CONSTRUCTION DOCUMENTS AND LIMITED NON-INVASIVE FIELD INVESTIGATION. THE CONTRACTOR SHALL INVESTIGATE FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK, COORDINATE AND MAKE ADJUSTMENTS AS NECESSARY.

DATE: 04/24/2023
 PROJECT: 21215-00
 DESIGNED: MWP
 DRAWN: KPP
 CHECKED: KDA

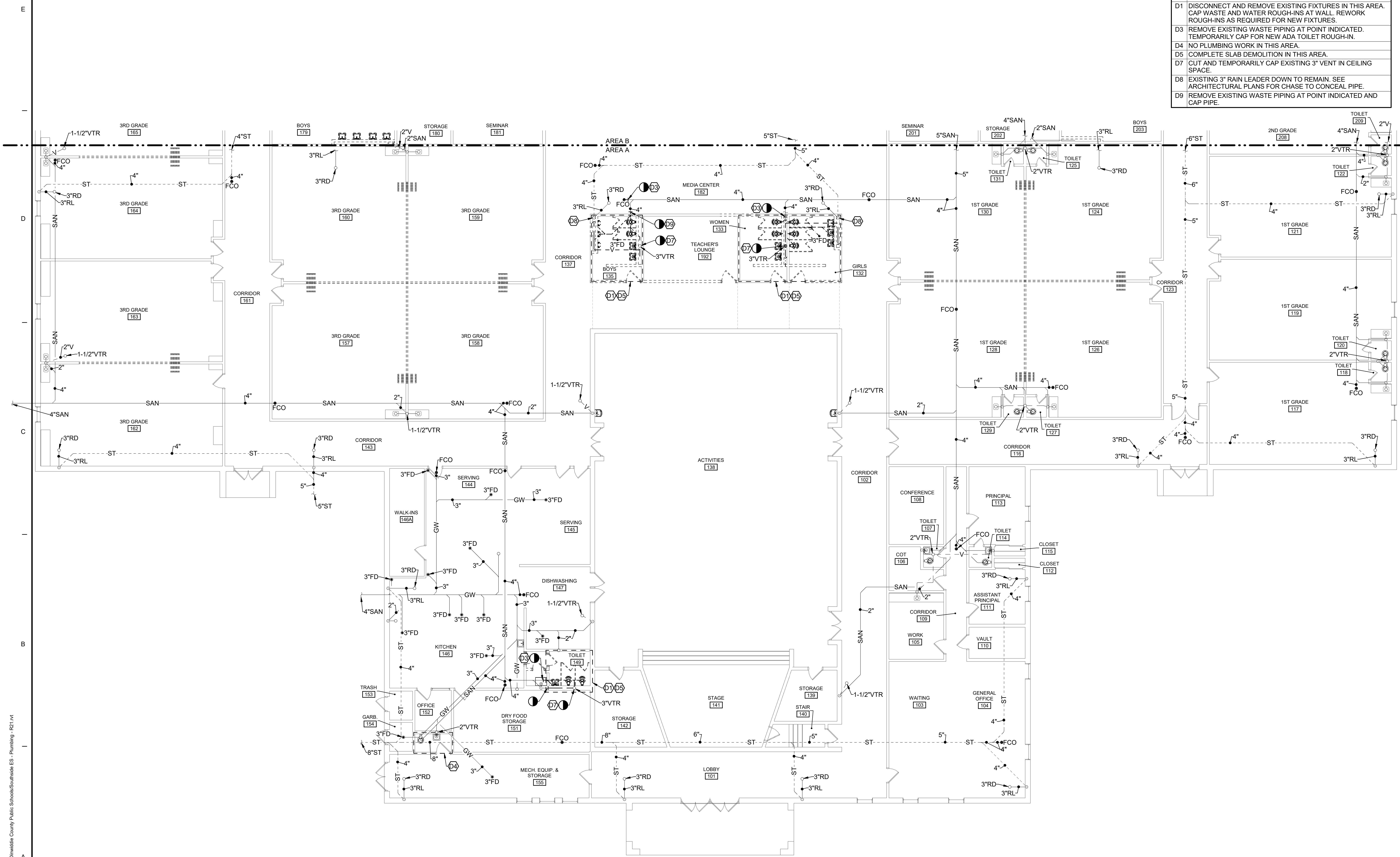
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 115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804)277-8987

PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: LEGEND, NOTES, ABBREVIATIONS & SCHEDULES

SHEET: P-001

DEMOLITION NOTES	
NO.	DESCRIPTION
D1	DISCONNECT AND REMOVE EXISTING FIXTURES IN THIS AREA. CAP WASTE AND WATER ROUGH-INS AT WALL. REWORK ROUGH-INS AS REQUIRED FOR NEW FIXTURES.
D3	REMOVE EXISTING WASTE PIPING AT POINT INDICATED. TEMPORARILY CAP FOR NEW ADA TOILET ROUGH-IN.
D4	NO PLUMBING WORK IN THIS AREA.
D5	COMPLETE SLAB DEMOLITION IN THIS AREA.
D7	CUT AND TEMPORARILY CAP EXISTING 3" VENT IN CEILING SPACE.
D8	EXISTING 3" RAIN LEADER DOWN TO REMAIN. SEE ARCHITECTURAL PLANS FOR CHASE TO CONCEAL PIPE.
D9	REMOVE EXISTING WASTE PIPING AT POINT INDICATED AND CAP PIPE.

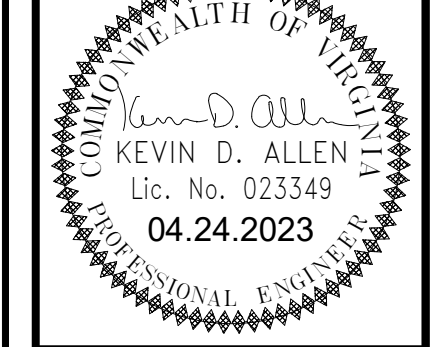


FIRST FLOOR - AREA A - DW - DEMOLITION
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION
BY	
DATE	
REVISIONS	

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	

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PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

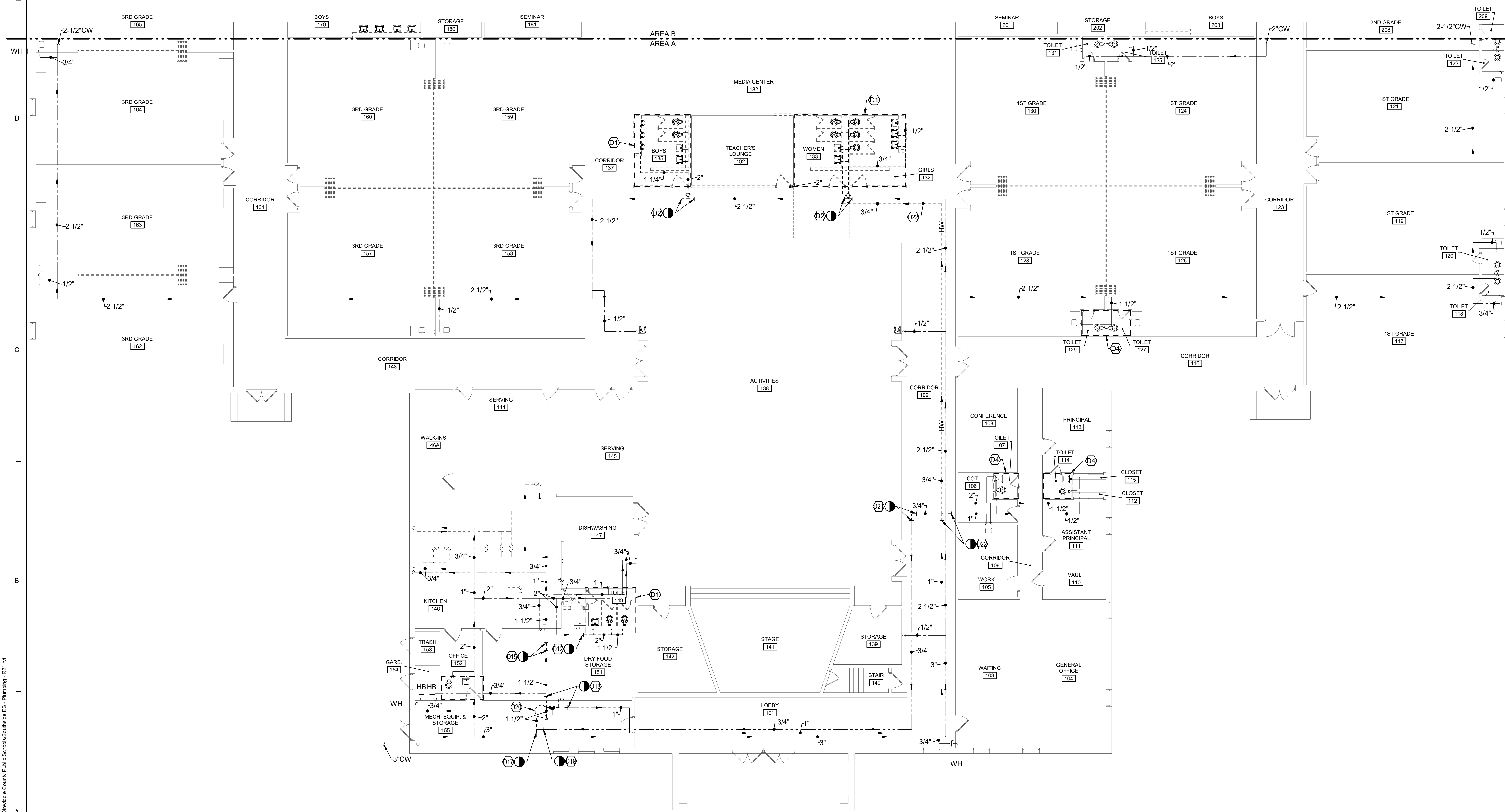
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SHEET: PD-101

4/25/2023 7:59:25 AM BIM 360://21215-01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

DEMOLITION NOTES	
NO.	DESCRIPTION
D1	DISCONNECT AND REMOVE EXISTING FIXTURES IN THIS AREA. CAP WASTE AND WATER ROUGH-INS AT WALL. REWORK ROUGH-INS AS REQUIRED FOR NEW FIXTURES.
D2	REWORK LAUNDRY WASTE AND WATER ROUGH-INS AT WALL FOR NEW LAVATORY CARRIER AND PIPING CONNECTION.
D4	NO PLUMBING WORK IN THIS AREA.
D12	CUT AND TEMPORARILY CAP EXISTING COLD WATER PIPE AT POINT INDICATED.
D15	CUT HOT WATER PIPING AT POINT INDICATED. TEMPORARILY CAP SUPPLY TO MOP SINK FOR RECONNECTION.
D17	CUT AND TEMPORARILY CAP COLD WATER PIPING TO WATER HEATER AT POINT INDICATED.

DEMOLITION NOTES	
NO.	DESCRIPTION
D18	CUT AND TEMPORARILY CAP HOT WATER PIPING TO KITCHEN AND AREA A AT POINT INDICATED.
D19	CUT AND TEMPORARILY CAP HOT WATER RECIRCULATING PIPING AT POINT INDICATED. REMOVE RECIRCULATING PUMP AND THERMAL MIXING VALVE.
D20	REMOVE EXISTING WATER HEATER. TURN OVER TO OWNER.
D21	CUT AND TEMPORARILY CAP HOT WATER AND HOT WATER RECIRCULATING PIPING AT POINT INDICATED.
D22	CUT AND TEMPORARILY CAP HOT WATER PIPING AT POINT INDICATED. REMOVE 3/4" HOT WATER DOWN CORRIDOR TO GROUP TOILET.



FIRST FLOOR - AREA A - DOMESTIC WATER - DEMOLITION
SCALE: 1/8" = 1'-0"

DATE	04/24/2023	PROJECT	21215-00	DESIGNED	MWP	DRAWN	KPP	CHECKED	
<p>RRMM ARCHITECTS, PC 115 South 15th Street, Suite 202 Richmond, Virginia 23219 (804)277-8987</p>									
<p>KEVIN D. ALLEN Lic. No. 023349 04.24.2023</p>									
PROJECT	DINWIDDIE COUNTY PUBLIC SCHOOLS SOUTHSIDE ELEMENTARY SCHOOL RENOVATION 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841							DRAWING	FIRST FLOOR - AREA A - DOMESTIC WATER - DEMOLITION
SHEET	PD-201								

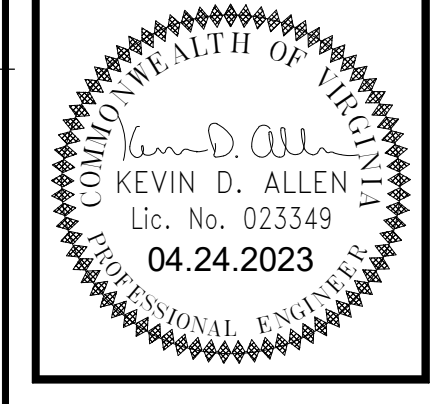
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 BM 369/12/12 15:01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

DEMOLITION NOTES	
NO.	DESCRIPTION
D1	DISCONNECT AND REMOVE EXISTING FIXTURES IN THIS AREA. CAP WASTE AND WATER ROUGH-INS AT WALL. REWORK ROUGH-INS AS REQUIRED FOR NEW FIXTURES.
D4	NO PLUMBING WORK IN THIS AREA.
D12	CUT AND TEMPORARILY CAP EXISTING COLD WATER PIPE AT POINT INDICATED.
D13	DISCONNECT AND REMOVE EXISTING ELECTRIC WATER HEATER. SEE FIELD PICTURES FOR POINTS OF DISCONNECT OF HOT AND COLD WATER.

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	

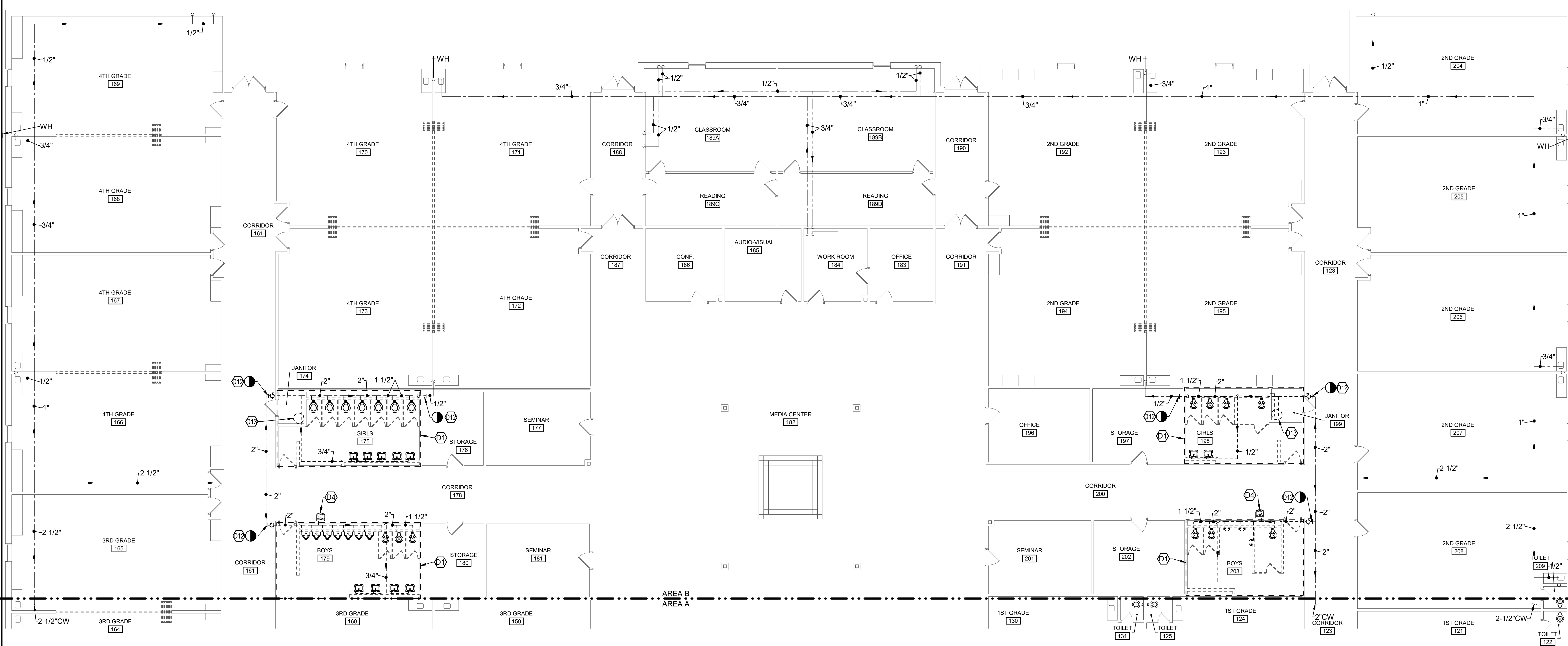
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04/24/2023	21215-00	MWP	KPP	

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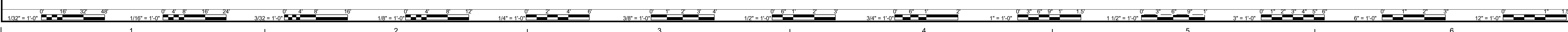


DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR - AREA B - DOMESTIC WATER - DEMOLITION



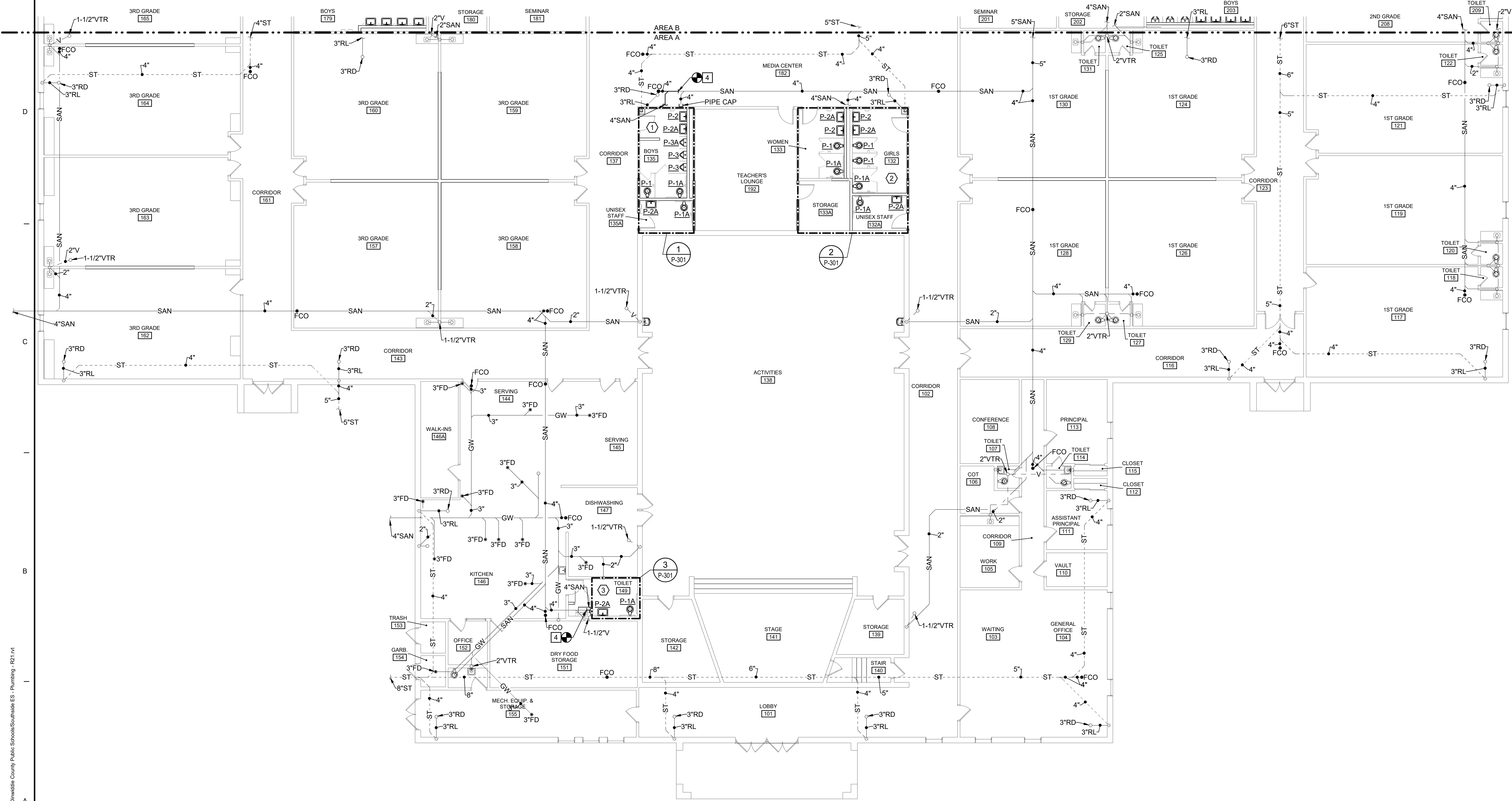
FIRST FLOOR - AREA B - DOMESTIC WATER - DEMOLITION
 SCALE: 1/8" = 1'-0"



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 BM 390/12/1215-01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

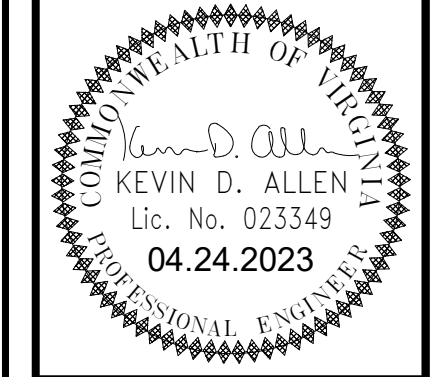
NEW WORK NOTES	
NO.	DESCRIPTION
4	CONNECT NEW 4" WASTE TO EXISTING 4" WASTE AT POINT INDICATED.

NO.	DESCRIPTION
BY	
DATE	
REVISIONS	



FIRST FLOOR - AREA A - DWV - NEW WORK
SCALE: 1/8" = 1'-0"

DATE	04/24/2023	DESIGNED	MWP
PROJECT	21215-00	DRAWN	KPP
		CHECKED	



PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: FIRST FLOOR - AREA A - DWV - NEW WORK

SHEET: P-101

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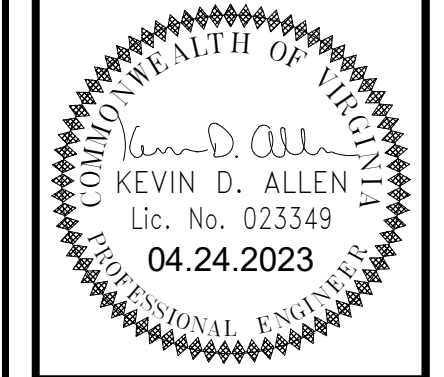
NEW WORK NOTES	
NO.	DESCRIPTION
10	EXISTING 3" RAIN LEADER TO REMAIN.

DATE	BY	DESCRIPTION
04/24/2023 <td>MWP <td>DESIGNED</td> </td>	MWP <td>DESIGNED</td>	DESIGNED
04/24/2023 <td>KPP <td>DRAWN</td> </td>	KPP <td>DRAWN</td>	DRAWN
		CHECKED

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	

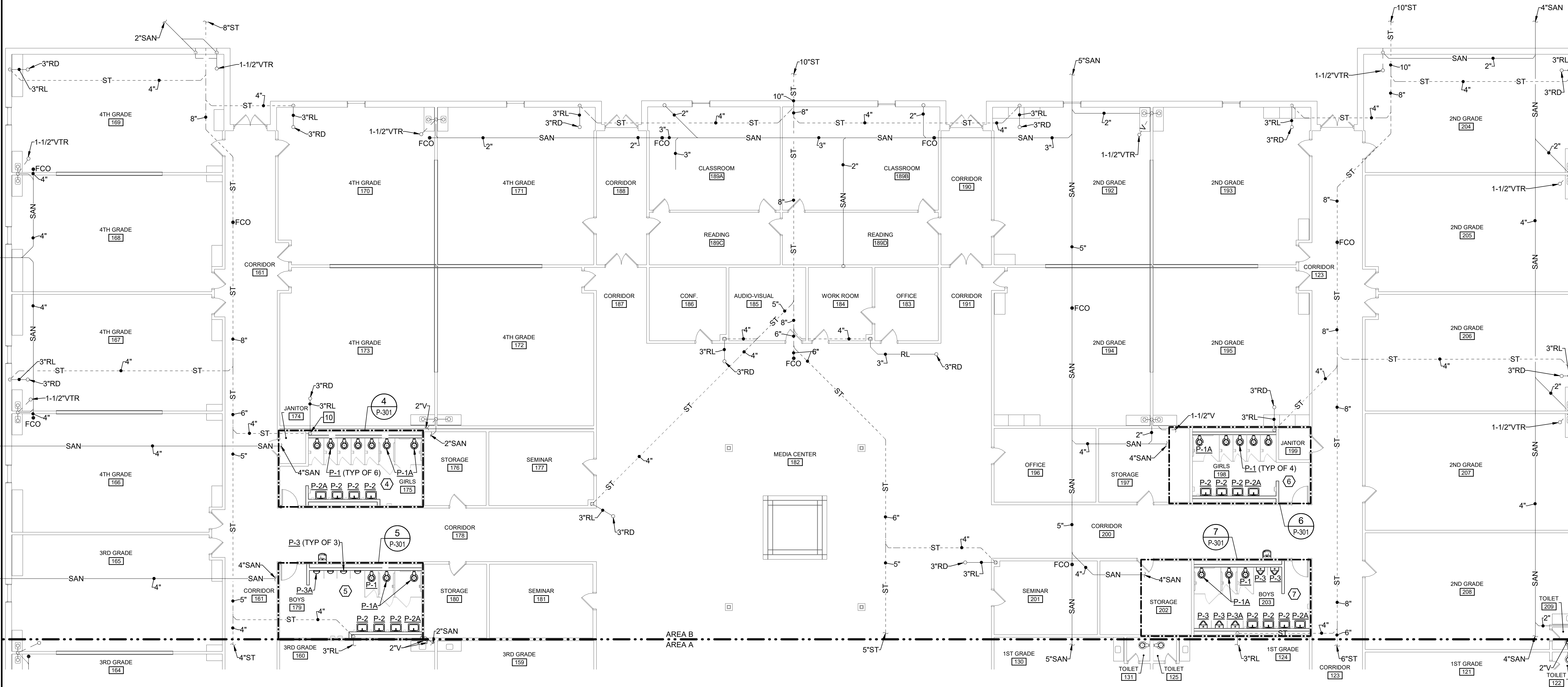
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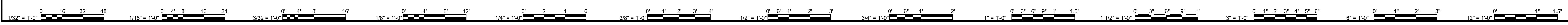
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FIRST FLOOR - AREA B - DW - NEW WORK

SHEET
P-102

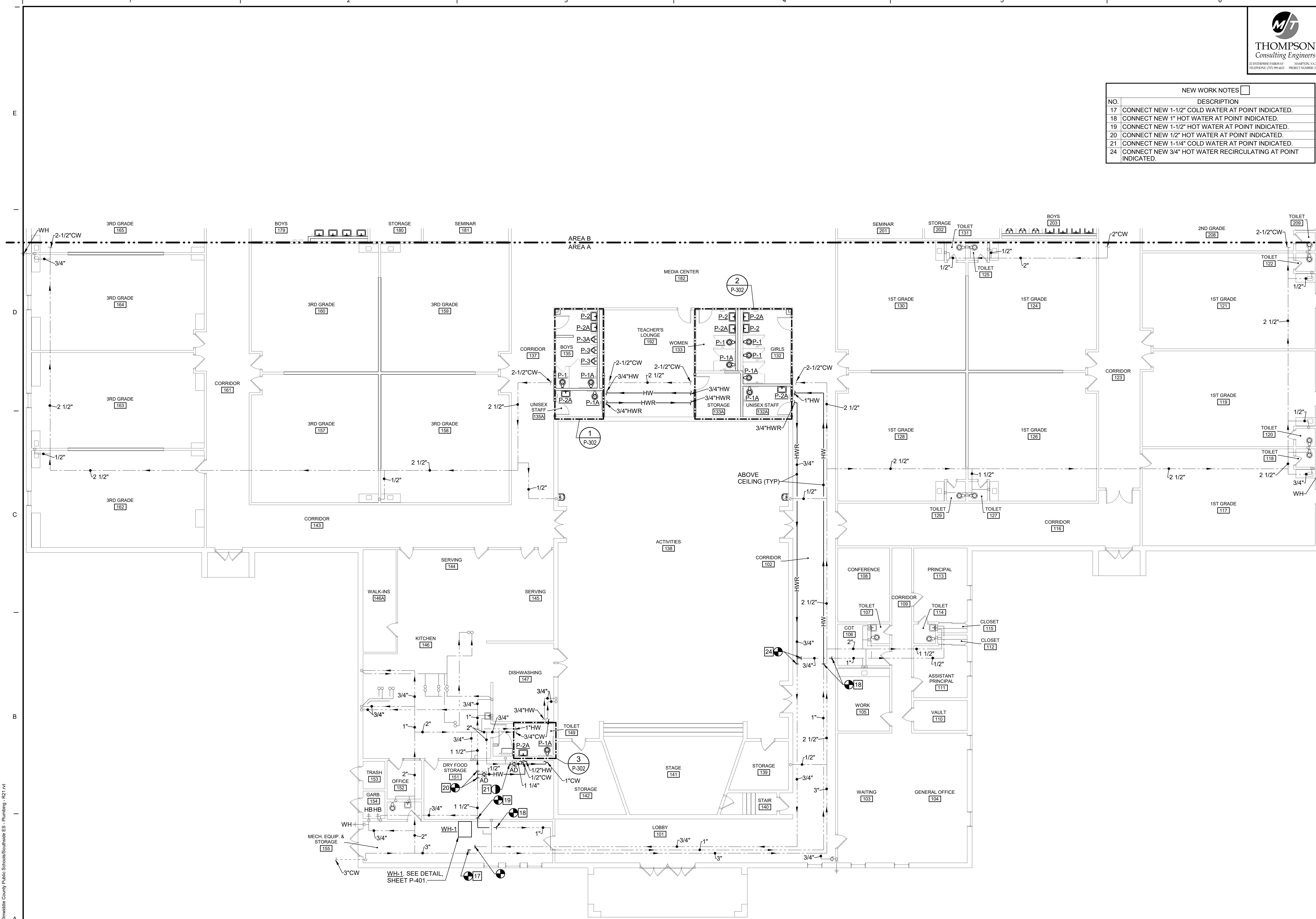


FIRST FLOOR - AREA B - DW - NEW WORK
SCALE: 1/8" = 1'-0"



4/25/2023 7:58:47 AM BIM 360/121215-01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

NEW WORK NOTES	
NO.	DESCRIPTION
17	CONNECT NEW 1-1/2" COLD WATER AT POINT INDICATED.
18	CONNECT NEW 1" HOT WATER AT POINT INDICATED.
19	CONNECT NEW 1-1/2" HOT WATER AT POINT INDICATED.
20	CONNECT NEW 1/2" HOT WATER AT POINT INDICATED.
21	CONNECT NEW 1-1/4" COLD WATER AT POINT INDICATED.
24	CONNECT NEW 3/4" HOT WATER RECIRCULATING AT POINT INDICATED.

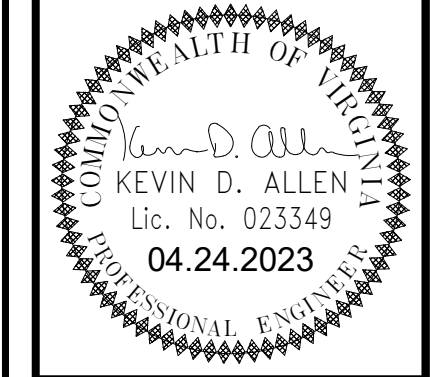


FIRST FLOOR - AREA A - DOMESTIC WATER - NEW WORK
SCALE: 1/8" = 1'-0"

DATE	BY	DESCRIPTION
04/24/2023	MWP	DESIGNED
04/24/2023	KPP	DRAWN
		CHECKED

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	MWP
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PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: FIRST FLOOR - AREA A - DOMESTIC WATER - NEW WORK

SHEET: P-201

4/25/2023 7:58:52 AM BIM 360://12115-01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

NEW WORK NOTES	
NO.	DESCRIPTION
12	CONNECT NEW 1/2" COLD WATER AT POINT INDICATED.
14	CONNECT NEW 2" COLD WATER AT POINT INDICATED.

DATE	BY	DESCRIPTION
04/24/2023 <td>MWP <td>DESIGNED</td> </td>	MWP <td>DESIGNED</td>	DESIGNED
04/24/2023 <td>KPP <td>DRAWN</td> </td>	KPP <td>DRAWN</td>	DRAWN
		CHECKED

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	

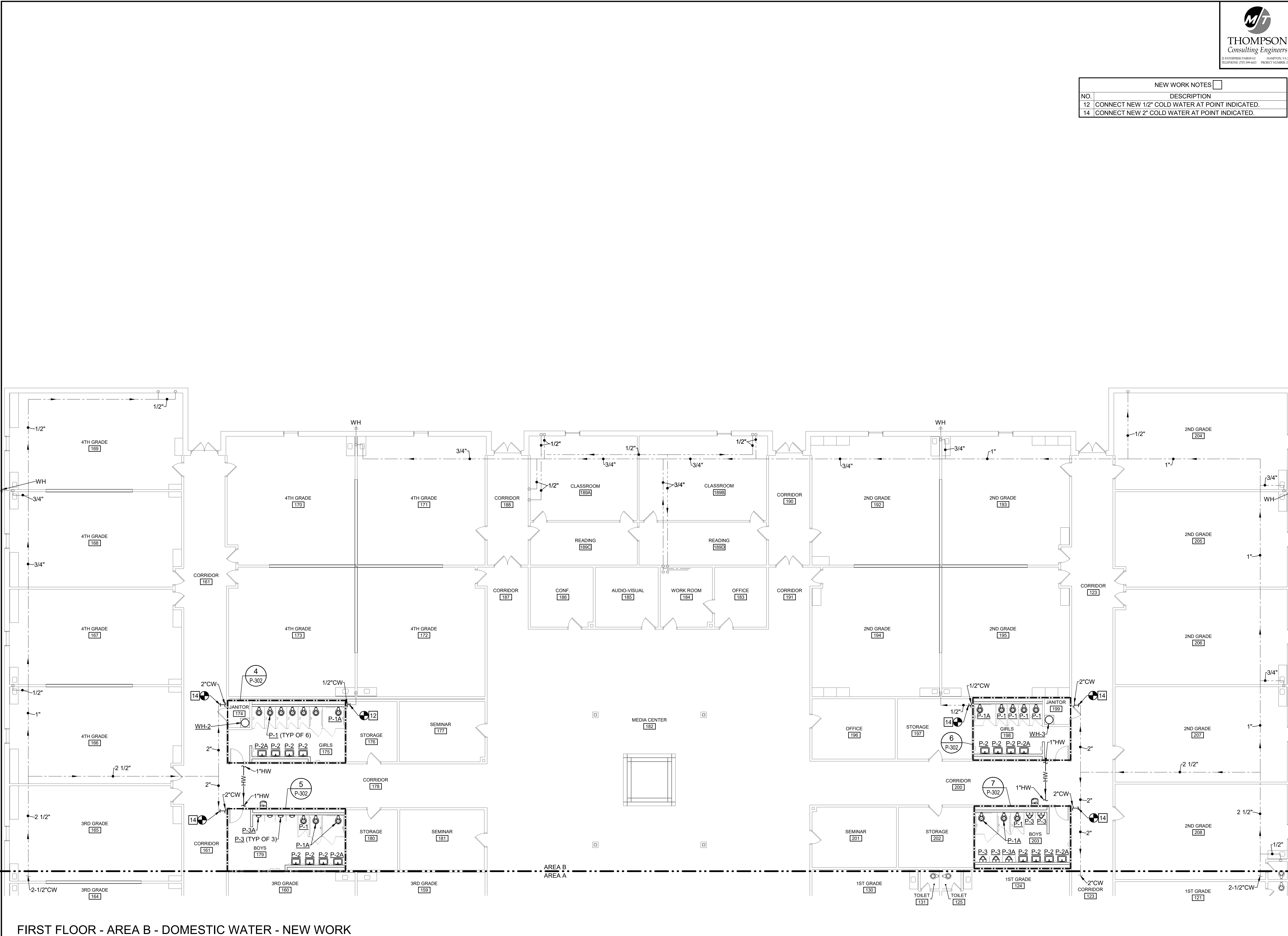
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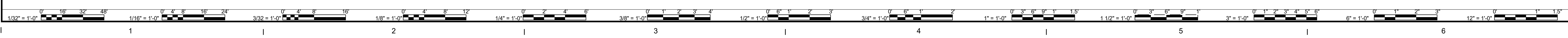
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SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR - AREA B - DOMESTIC WATER - NEW WORK

DRAWING

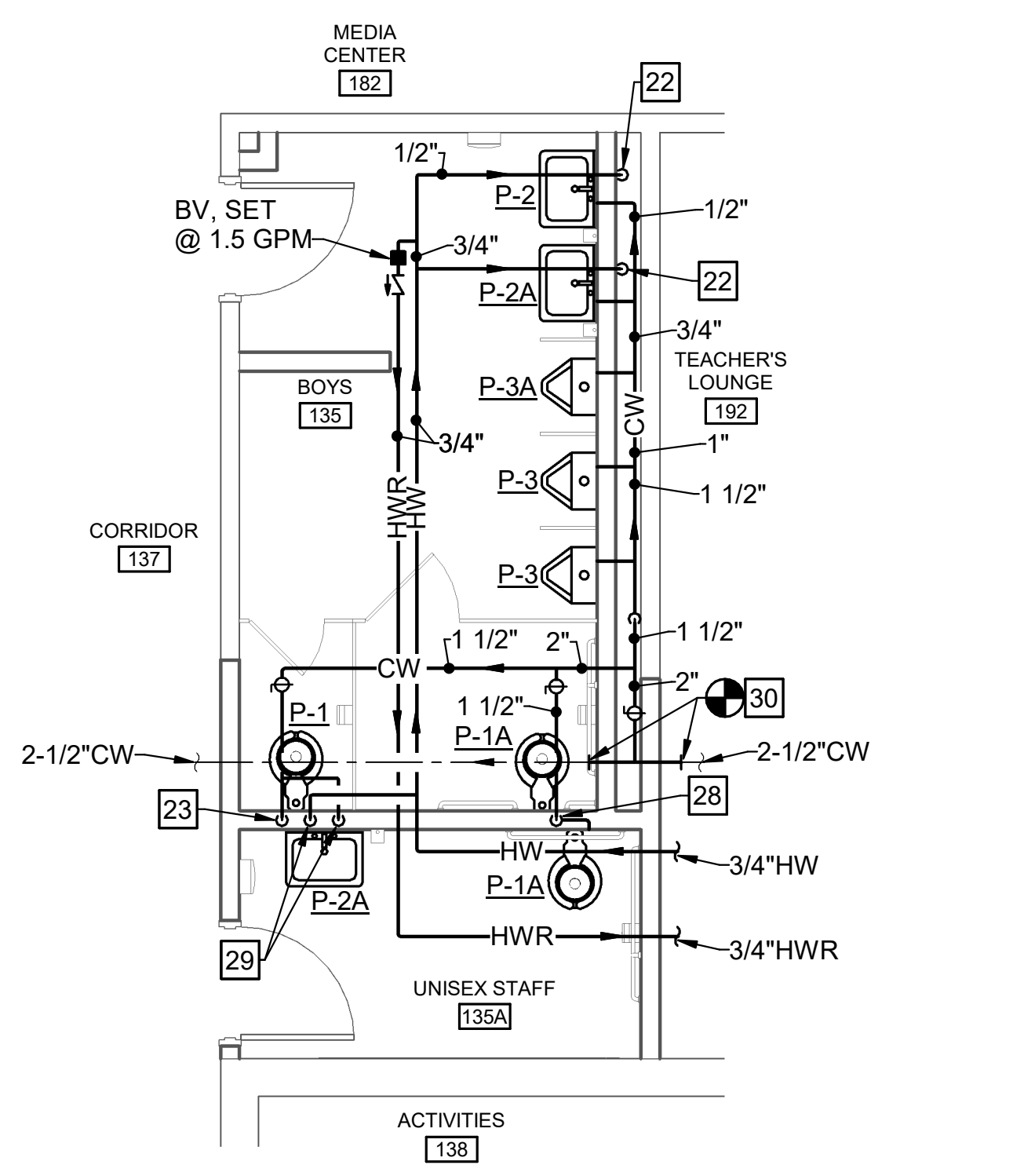


FIRST FLOOR - AREA B - DOMESTIC WATER - NEW WORK
SCALE: 1/8" = 1'-0"

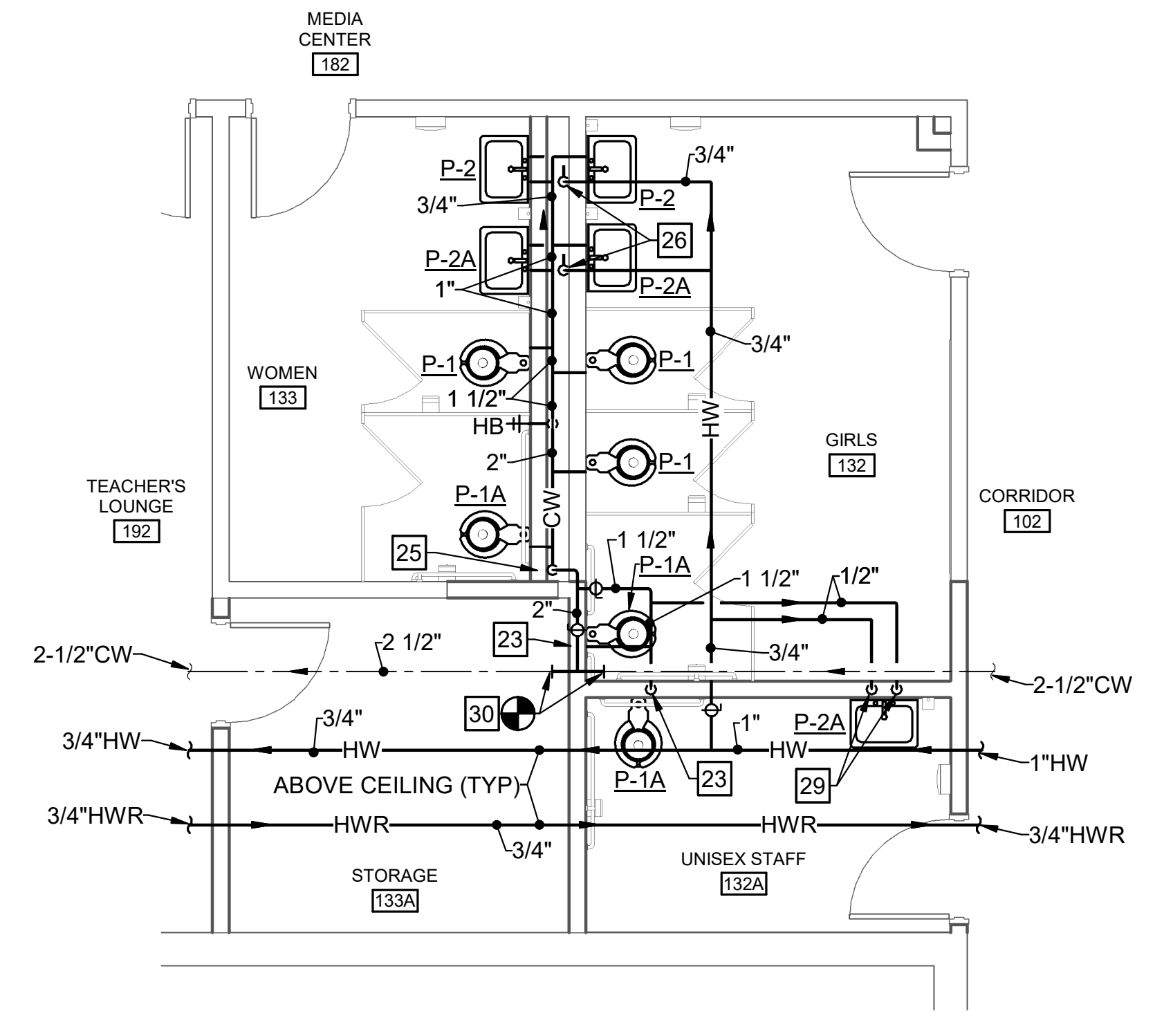


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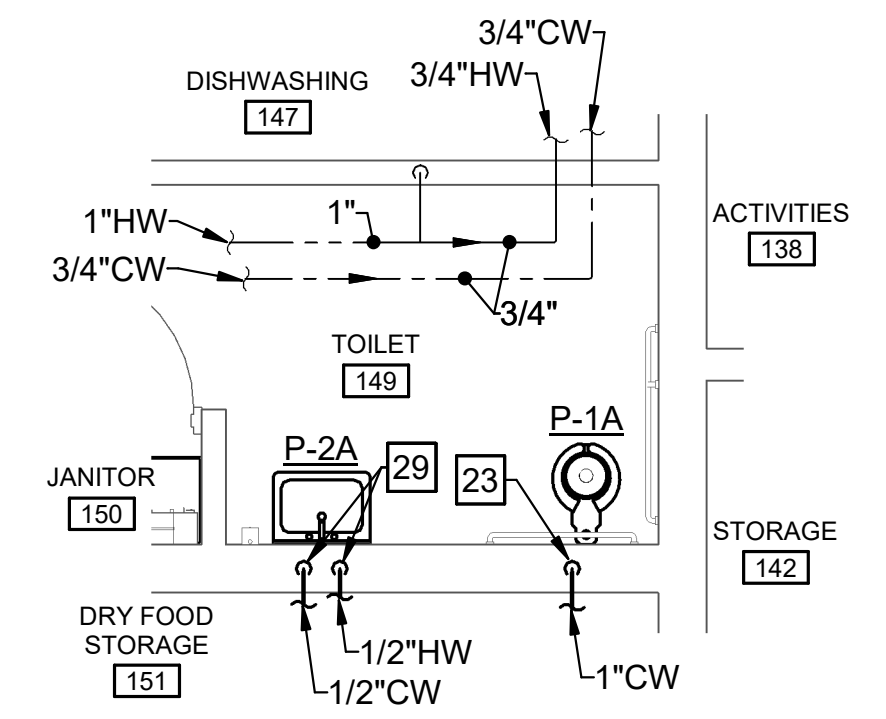
NEW WORK NOTES	
NO.	DESCRIPTION
11	2" COLD WATER DOWN IN CHASE.
13	1" HOT AND COLD WATER DOWN IN CHASE.
15	1-1/2" COLD WATER DOWN.
16	1" HOT WATER DOWN IN CHASE.
22	1/2" HOT WATER DOWN.
23	1" COLD WATER DOWN.
25	1-1/2" COLD WATER DOWN.
26	3/4" HOT WATER DOWN.
28	1-1/2" COLD WATER DOWN. BRANCH 1" COLD WATER TO EACH P-1A.
29	1/2" HOT AND COLD WATER DOWN.
30	CONNECT NEW COLD WATER TO EXISTING COLD WATER AT POINT INDICATED.



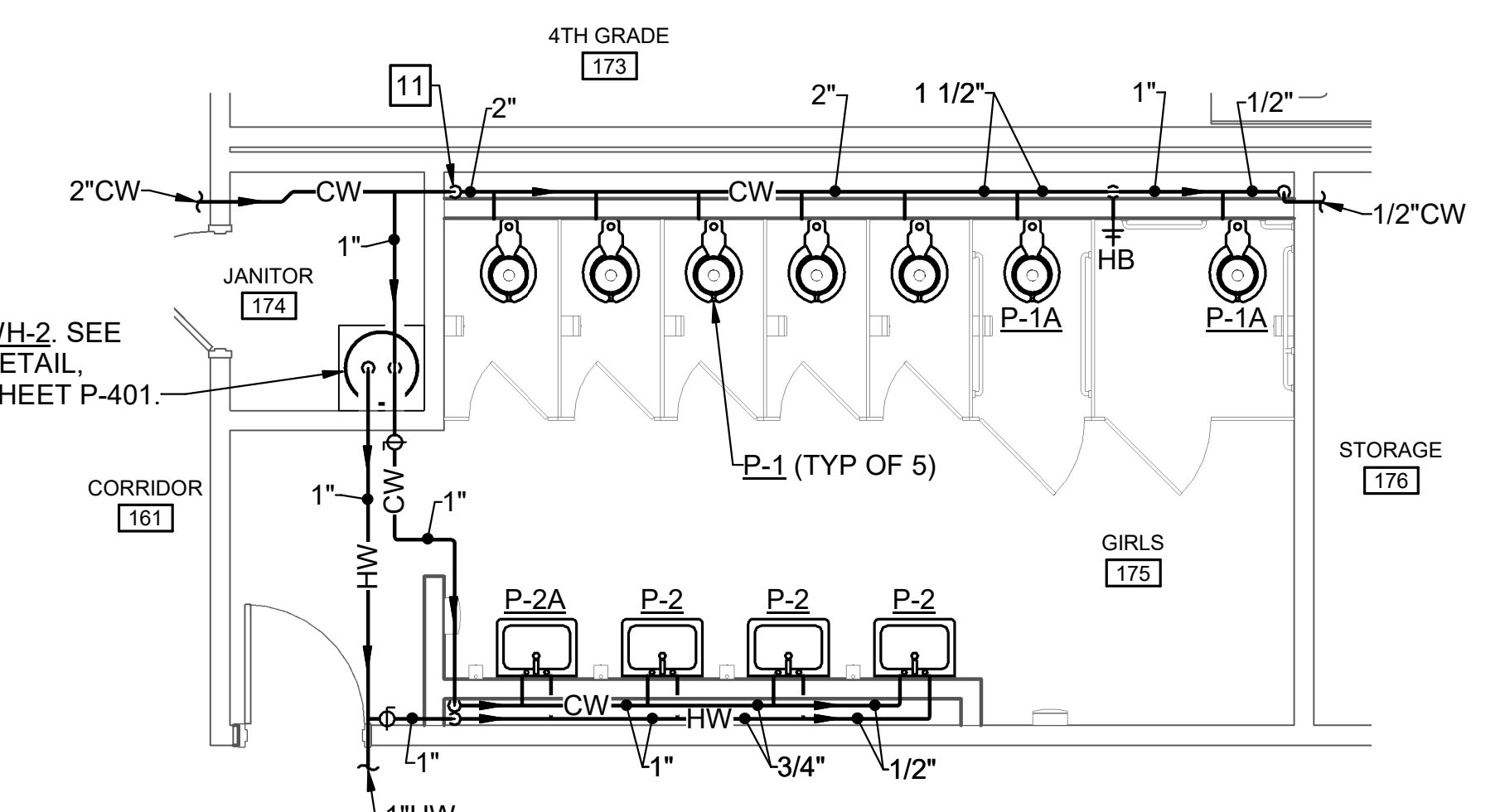
1 ENLARGED PLAN - AREA A - DOMESTIC WATER - NEW WORK
SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - AREA A - DOMESTIC WATER - NEW WORK
SCALE: 1/4" = 1'-0"



3 ENLARGED PLAN - AREA A - DOMESTIC WATER - NEW WORK
SCALE: 1/4" = 1'-0"





FIELD PICTURE #1
NOT TO SCALE

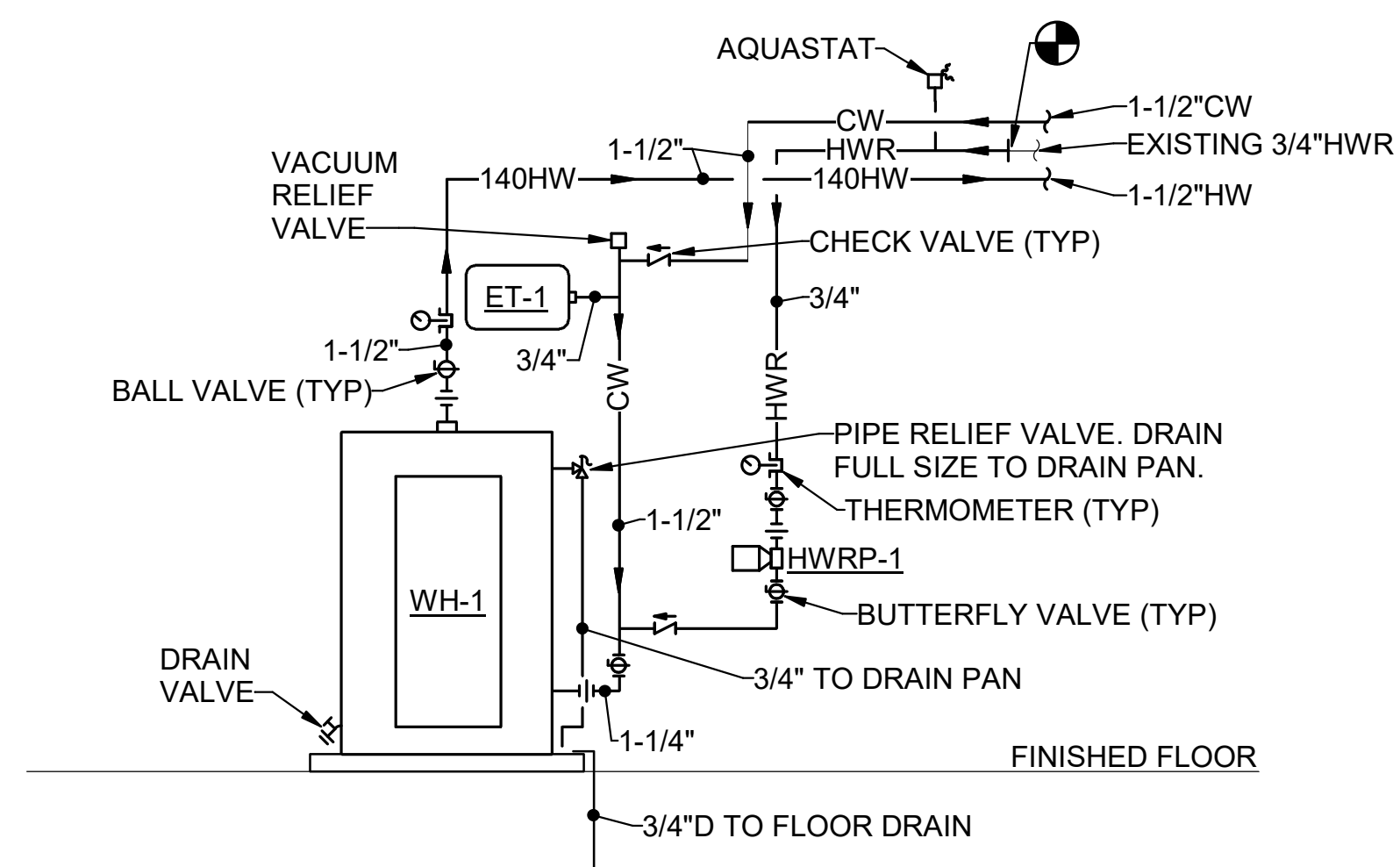


FIELD PICTURE #2
NOT TO SCALE



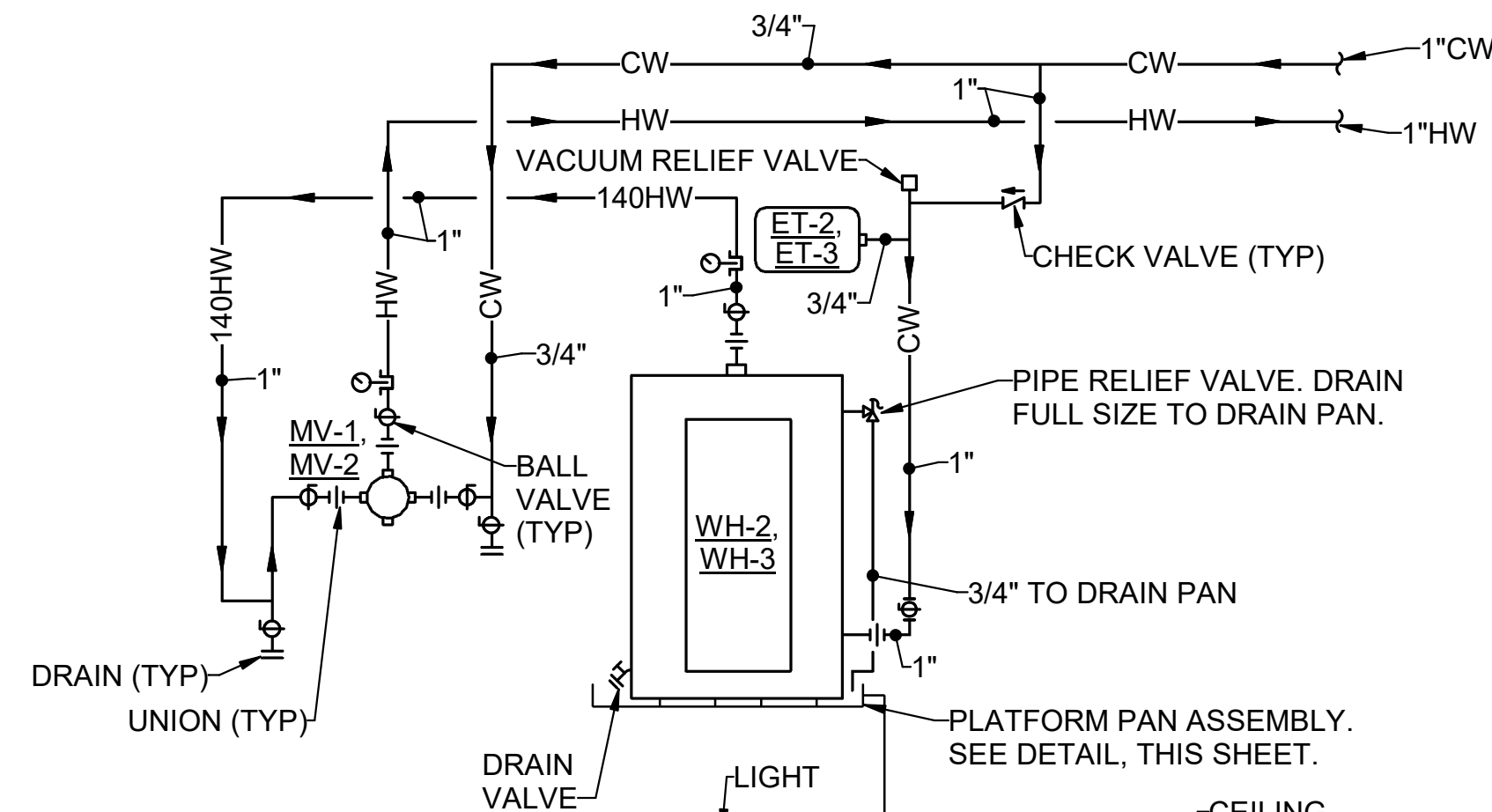
FIELD PICTURE #3
NOT TO SCALE

DEMOLITION NOTES	
NO.	DESCRIPTION
D14	DISCONNECT AND REMOVE ELECTRIC WATER HEATER, T&P RELIEF PIPING AND ANGLE BAR SUPPORTS.
D15	CUT HOT WATER PIPING AT POINT INDICATED. TEMPORARILY CAP SUPPLY TO MOP SINK FOR RECONNECTION.
D16	CUT COLD WATER PIPING AT POINT INDICATED. TEMPORARILY CAP SUPPLY TO MOP SINK FOR RECONNECTION.
D17	CUT AND TEMPORARILY CAP COLD WATER PIPING TO WATER HEATER AT POINT INDICATED.
D18	CUT AND TEMPORARILY CAP HOT WATER PIPING TO KITCHEN AND AREA A AT POINT INDICATED.
D19	CUT AND TEMPORARILY CAP HOT WATER RECIRCULATING PIPING AT POINT INDICATED. REMOVE RECIRCULATING PUMP AND THERMAL MIXING VALVE.
D20	REMOVE EXISTING WATER HEATER. TURN OVER TO OWNER.



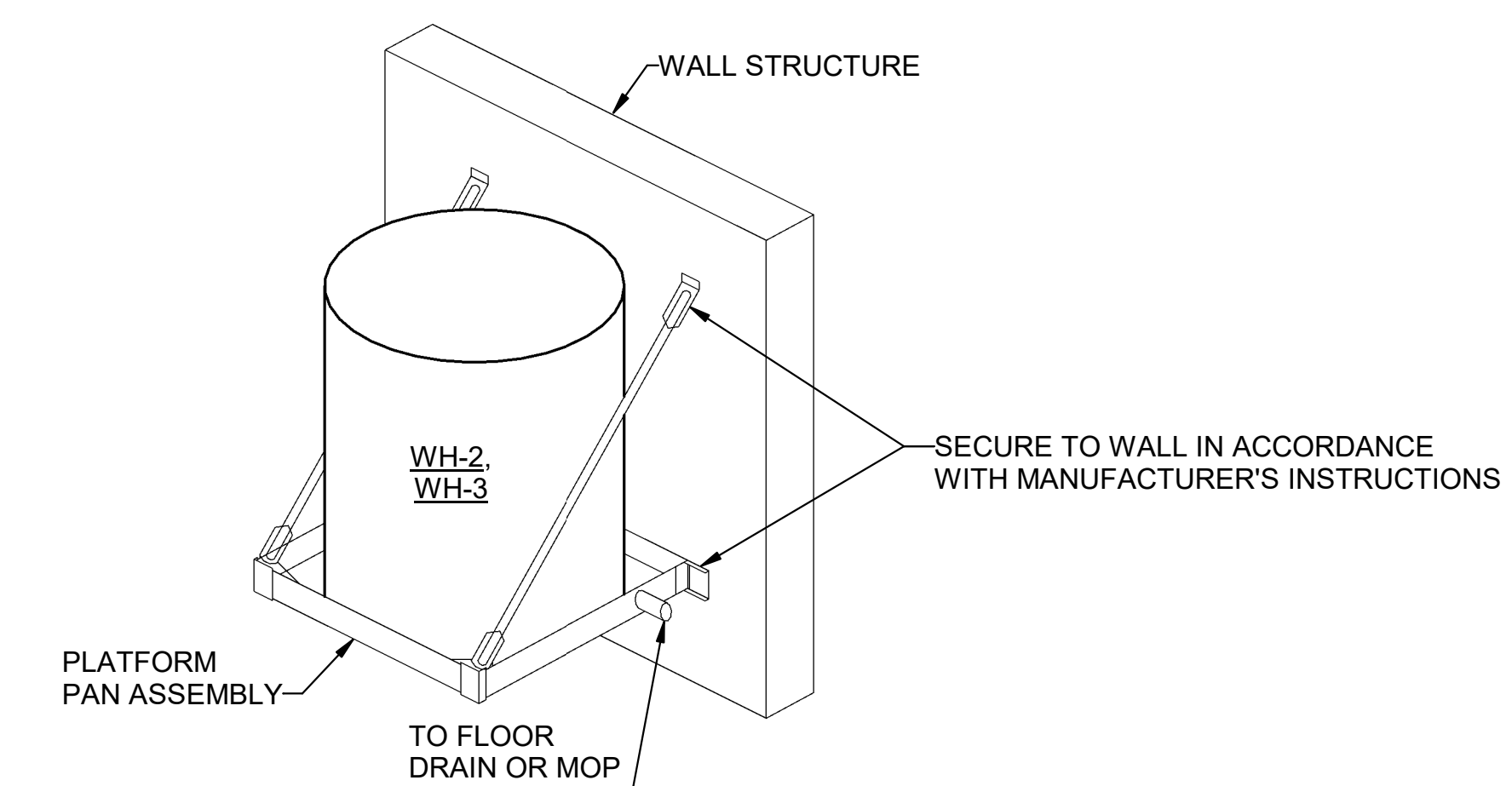
NOTE: SET HOT WATER TO KITCHEN AT 140°F.

WATER HEATER PIPING DIAGRAM (WH-1)
NO SCALE



NOTE: SET HOT WATER TEMPERATURE AT 105°F FOR WH-2 & WH-3 FOR HOT WATER FROM MIXING VALVE.

WATER HEATER PIPING DIAGRAM (WH-2 & WH-3)
NO SCALE



WATER HEATER MOUNTING DETAIL (WH-2 & WH-3)
NOT TO SCALE

DESCRIPTION	BY
MARK	DATE
REVISIONS	

DATE	04/24/2023	DESIGNED	MWP	DRAWN	KPP	CHECKED	
PROJECT	21215-00						

RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804) 277-8987

KEVIN D. ALLEN
Lic. No. 023349
04.24.2023

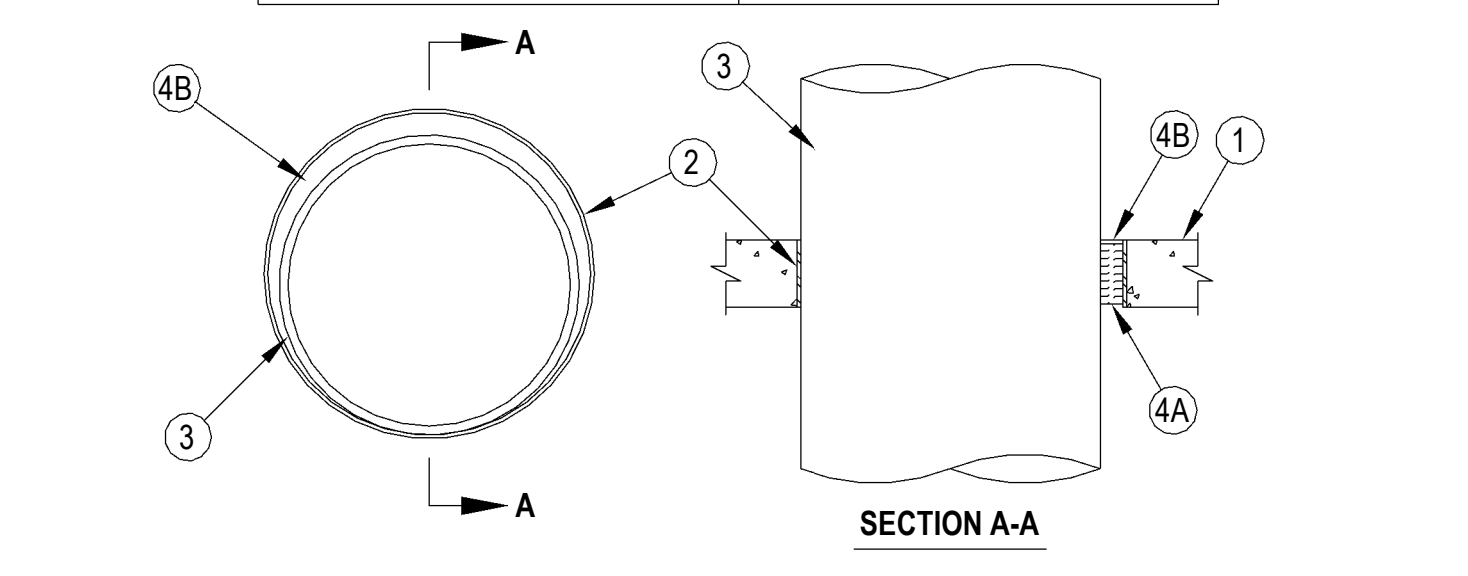
PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: DETAILS, DIAGRAMS & FIELD PICTURES

SHEET: P-401

4/25/2023 7:58:15 AM BIM 360/121215-01 Dinwiddie County Public Schools/Southside ES - Plumbing - R21.rvt

System No. C-AJ-1226	
ANSI/UL1479 (ASTM E814)	CANULC S115
F Rating — 3 Hr	F Rating — 3 Hr
T Rating — 0 Hr	FT Rating — 0 Hr
L Rating At Ambient — Less Than 1 CFM/sq ft	FH Rating — 3 Hr
L Rating At 400 F — 4 CFM/sq ft	FTH Rating — 0 Hr
	L Rating At Ambient — Less Than 1 CFM/sq ft
	L Rating At 400 F — 4 CFM/sq ft



- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete. Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 32 in. (813 mm).
- Metallic Sleeve — (Optional) Nom 32 in. (813 mm) diam (or smaller) Schedule 40 (or heavier) steel sleeve cast or grouted into floor or wall assembly. Flush with floor or wall surfaces or extending a max of 5 in. (76 mm) above floor or beyond both surfaces of wall.
- Sheet Metal Sleeve — (Optional) Max 6 in. (152 mm) diam, min 26 ga. galv steel provided with a 26 ga galv steel square flange spot welded to the sleeve at approx mid-height, or flush with bottom of sleeve in floors, and sized to be a min of 2 in. (51 mm) larger than the sleeve diam. The sleeve is to be cast in place and may extend a max of 4 in. (102 mm) below the bottom of the deck and a max of 1 in. (25 mm) above the top surface of the concrete floor.
- Sheet Metal Sleeve — (Optional) Max 12 in. (305 mm) diam, min 24 ga galv steel provided with a 24 ga galv steel square flange spot welded to the sleeve at approx mid-height, or flush with bottom of sleeve in floors, and sized to be a min of 2 in. (51 mm) larger than the sleeve diam. The sleeve is to be cast in place and may extend a max of 4 in. (102 mm) below the bottom of the deck and a max of 1 in. (25 mm) above the top surface of the concrete floor.
- Through Penetrant — One metallic pipe, tube or conduit to be installed either concentrically or eccentrically within the firestop system. The annular space between penetrant and periphery of opening shall be min 0 in. (point contact) to max 1-7/8 in. (48 mm). Penetrant may be installed with continuous point contact. Penetrant to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic penetrants may be used:
 - Steel Pipe — Nom 30 in. (762 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
 - Iron Pipe — Nom 30 in. (762 mm) diam (or smaller) cast or ductile iron pipe.
 - Copper Pipe — Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.
 - Copper Tubing — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing.
 - Conduit — Nom 6 in. (152 mm) diam (or smaller) steel conduit.
 - Conduit — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing (EMT).

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Page: 1 of 2

System No. C-AJ-1226	
ANSI/UL1479 (ASTM E814)	CANULC S115
F Rating — 3 Hr	F Rating — 3 Hr
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L Rating At Ambient — Less Than 1 CFM/sq ft	FH Rating — 3 Hr
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	L Rating At Ambient — Less Than 1 CFM/sq ft
	L Rating At 400 F — 4 CFM/sq ft

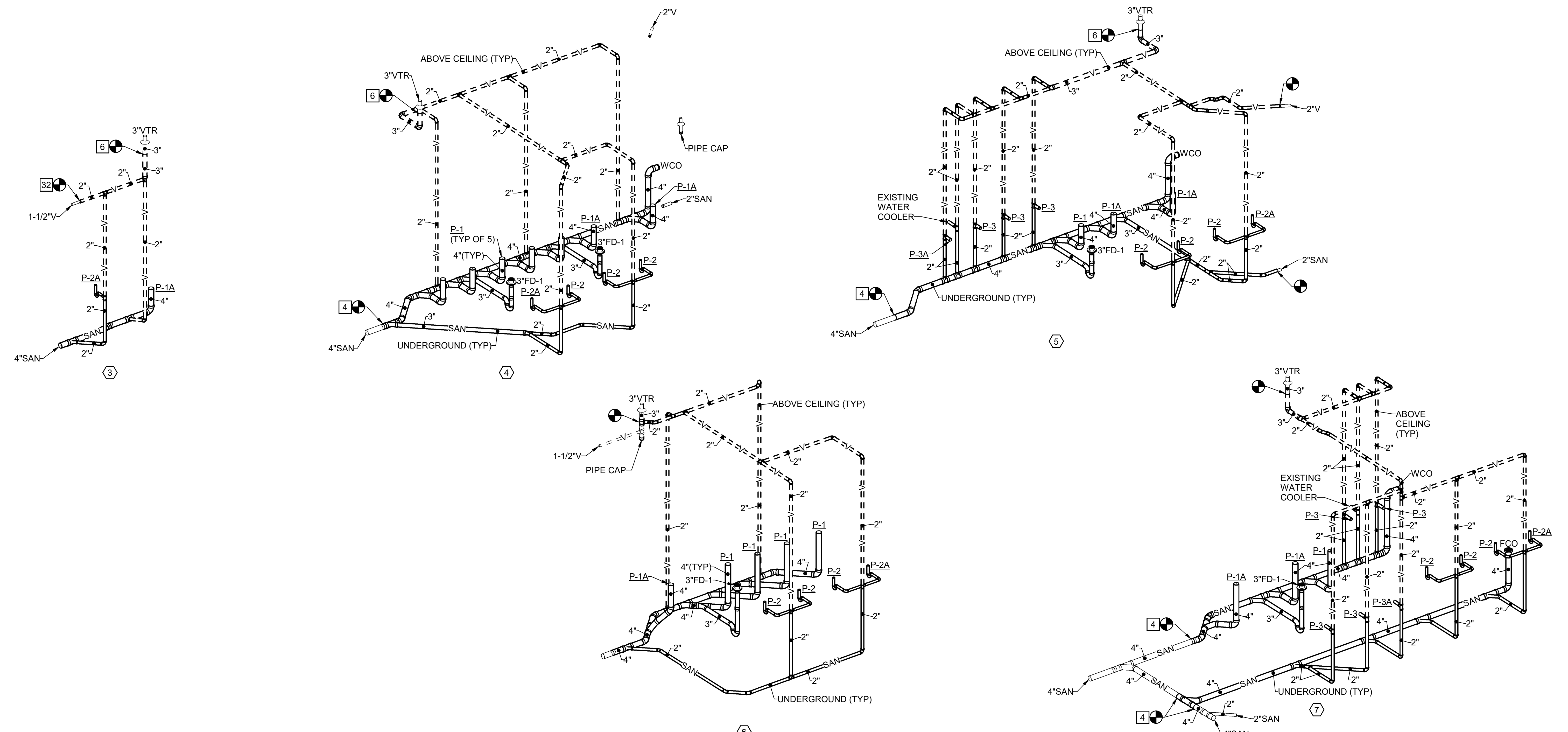
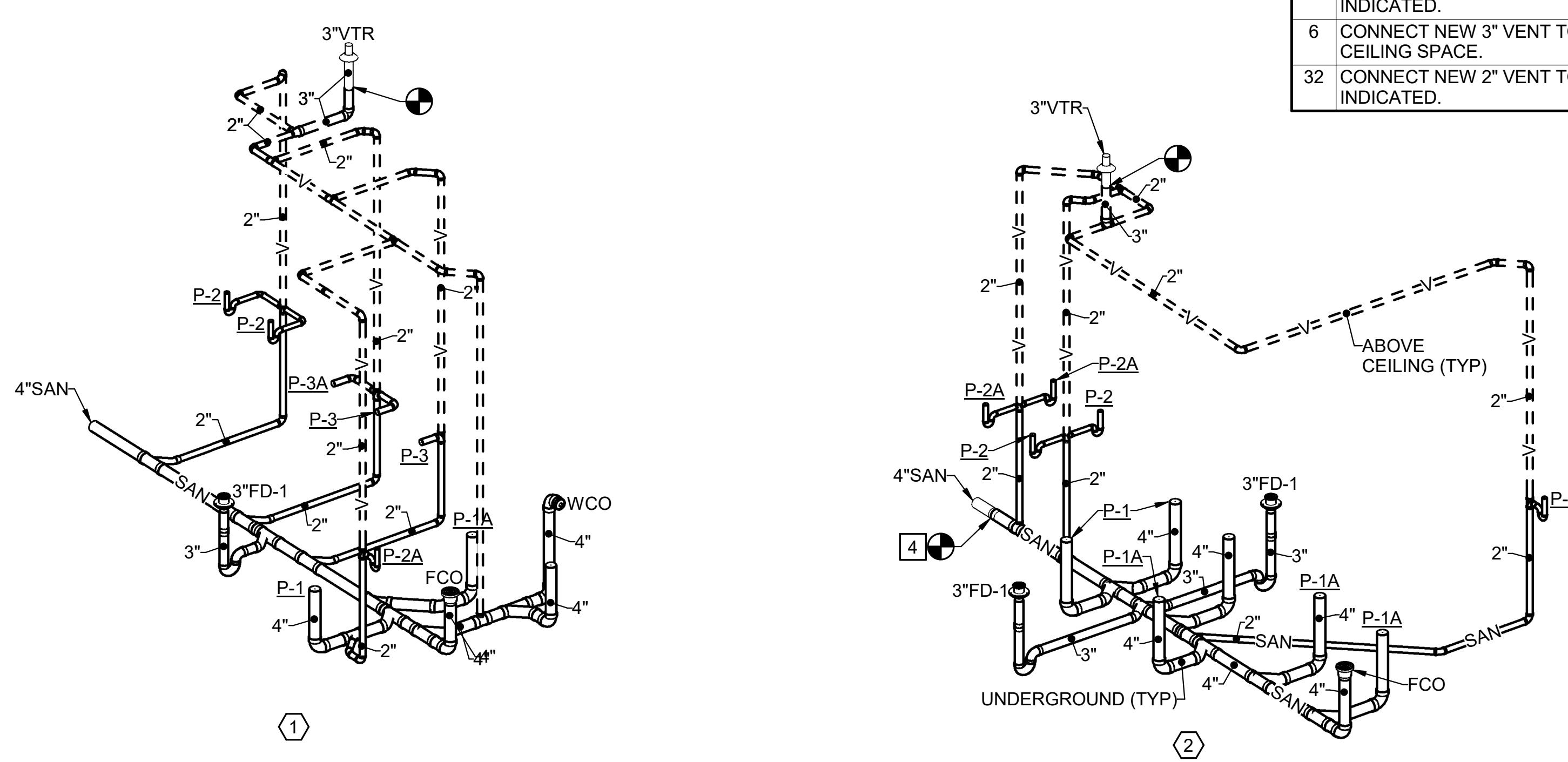
4. Firestop System — The firestop system shall consist of the following:
 A. Packing Material — Min 4 in. (102 mm) thickness of min 4 pcf (64 kg/m³) mineral wool batt insulation firmly packed into opening as a permanent pack. Packing material to be recessed from top surface of floor or sleeve or from both surfaces of wall or sleeve as required to accommodate the required thickness of fill material.
 B. Fill, Void or Cavity Material — Sealant — Min 1/4 in. (6 mm) thickness of fill material applied within the annulus, flush with top surface of floor or sleeve or with both surfaces of wall or sleeve. At the point or continuous contact locations between penetrant and concrete or sleeve, a min 1/4 in. (6 mm) diam bead of fill material shall be applied at the concrete or sleeve/pipe penetrant interface on the top surface of floor and on both surfaces of wall.
 HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-One Sealant or FS-One MAX Intumescent Sealant
 * Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

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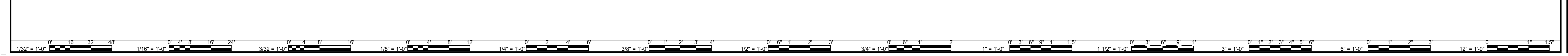
Page: 2 of 2



NEW WORK NOTES	
NO.	DESCRIPTION
4	CONNECT NEW 4" WASTE TO EXISTING 4" WASTE AT POINT INDICATED.
6	CONNECT NEW 3" VENT TO EXISTING 3" VENT THRU ROOF IN CEILING SPACE.
32	CONNECT NEW 2" VENT TO EXISTING VENT AT POINT INDICATED.



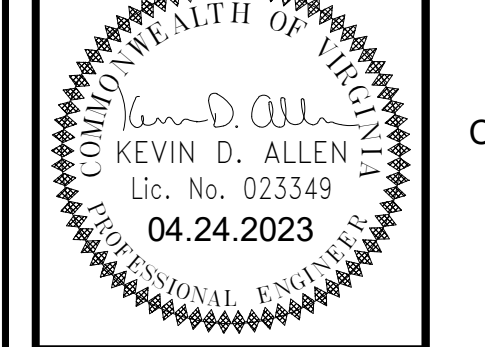
SANITARY WASTE PIPING ISOMETRICS
 NOT TO SCALE



DATE	DESCRIPTION	BY
04/24/2023 <td>DESIGNED <td>MWP</td> </td>	DESIGNED <td>MWP</td>	MWP
04/24/2023 <td>DRAWN <td>KPP</td> </td>	DRAWN <td>KPP</td>	KPP
04/24/2023 <td>CHECKED <td>KPP</td> </td>	CHECKED <td>KPP</td>	KPP

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	MWP	KPP	KPP

115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804) 277-8987



SANITARY WASTE PIPING ISOMETRICS & FIRESTOP DETAILS

DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

SHEET
P-402

GENERAL DEMOLITION NOTES

- WHERE EQUIPMENT IS INDICATED TO BE REMOVED, IT SHALL MEAN COMPLETE REMOVAL OF EQUIPMENT, INCLUDING CURBS, SUPPORTS, GUYS, ANCHORS, BRACKETS, CONTROLS AND INCIDENTAL ITEMS CONNECTED OR FASTENED TO EQUIPMENT. OWNER MAINTAINS THE OWNERSHIP OF ALL ITEMS TAGGED OR IDENTIFIED.
- WHERE DUCTWORK IS INDICATED TO BE REMOVED, IT SHALL MEAN COMPLETE REMOVAL OF DUCTWORK, INCLUDING FITTINGS, INSULATION, SUPPORTS, BRACKETS, CONTROLS AND INCIDENTAL ITEMS CONNECTED OR FASTENED TO THE DUCTWORK. DUCTWORK IS DIAGRAMMATIC AND INDICATES THE GENERAL EXTENT OF WORK. NO ATTEMPT IS MADE TO SHOW EVERY ELL, TEE, OFFSET AND FITTING. REMOVE DUCTWORK AS INDICATED AND SPECIFIED.
- REFER TO REFLECTED CEILING PLANS FOR DEMOLITION RELATED TO CEILINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR REWORKING OF ROOF WHERE REMOVAL OF HVAC EQUIPMENT OCCURS.
- CONTRACTOR SHALL RECLAIM AND DISPOSE OF ALL REFRIGERANT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES PRIOR TO REMOVING THE EXISTING UNIT.

GENERAL NOTES

- CONTRACTOR SHALL VISIT JOB SITE TO DETERMINE EXTENT OF WORK INVOLVED PRIOR TO BIDDING THE PROJECT.
- THE MECHANICAL SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE.
- COORDINATE LOCATION OF ALL DUCTWORK, SUPPLY AND RETURN DEVICES, EXHAUST FANS, THERMOSTATS AND OTHER WALL OR CEILING MOUNTED EQUIPMENT WITH REFLECTED PLANS, LIGHT FIXTURES, SPRINKLER SYSTEMS AND ACCESSORIES INSTALLED BY OTHER TRADES SO AS TO PRESENT A NEAT AND ATTRACTIVE INSTALLATION THROUGHOUT THE BUILDING.
- ARRANGE DUCTWORK PARTICULARLY ABOVE CEILING AS REQUIRED TO CLEAR STRUCTURE, CONDUIT, LIGHTS, ETC., ALLOWING SPACE FOR HANGERS, INSULATION, ETC.
- SEAL AROUND AND MAKE AIRTIGHT ALL DUCTS PENETRATING INSULATED CEILINGS AND WALLS.
- DUCT DIMENSIONS MAY BE MODIFIED AS APPROVED BY ENGINEER.
- DUCT SIZES SHOWN ARE INSIDE FREE AREA DIMENSIONS.
- ALL ROUND BRANCH DUCTS TO DIFFUSERS SHALL MATCH NECK SIZES SHOWN ON SCHEDULE, UNLESS OTHERWISE NOTED.
- ALL DIFFUSERS, GRILLES AND REGISTERS SHALL BE SIZED TO HAVE A MINIMUM FREE AREA OF 70% AND MEET PERFORMANCE CRITERIA SCHEDULED.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL WORK REQUIRED FOR INSTALLATION OF ROOF MOUNTED HVAC EQUIPMENT.
- REFER TO REFLECTED CEILING PLANS FOR NEW WORK RELATED TO CEILINGS.
- BALANCE ALL NEW AND EXISTING DIFFUSERS AND DUCT SYSTEMS ASSOCIATED WITH THE MULTIZONE ROOFTOP UNITS. CONTRACTOR SHALL DO A PRE-BALANCE PRIOR TO DEMOLITION TO VERIFY MULTIZONE UNIT PERFORMANCE AND A FINAL BALANCE AFTER THE NEW WORK IS COMPLETE. FINAL BALANCE SHALL MATCH PRE-BALANCE AFTER ADJUSTMENTS TO DIFFUSERS IS COMPLETE.

TEMPORARY CONDITIONING AND PHASING NOTES

- REFER TO SHEET LS-101 FOR GENERAL PHASING COORDINATION NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY COOLING AND DEHUMIDIFICATION EQUIPMENT TO MAINTAIN THE SPACE TEMPERATURE AND HUMIDITY BELOW THE MAXIMUM LIMITS OF 76°F DB AND 60% RH. TOTAL CAPACITY OF TEMPORARY CONDITIONING UNITS SHALL BE NO LESS THAN 20 TONS. CONTRACTOR SHALL BE RESPONSIBLE FOR EMPTYING UNITS' CONDENSATE CONTAINERS AS OFTEN AS REQUIRED TO PREVENT UNIT FAILURE AND OVERFLOW.
- TEMPORARY COOLING/DEHUMIDIFICATION EQUIPMENT SHALL BE PROVIDED FOR EACH OF THE FOLLOWING SPACES FOR ANY SERVICE OUTAGE LONGER THAN 12 HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ELECTRICAL POWER REQUIREMENTS OF TEMPORARY UNITS WITH THE BUILDING'S ELECTRICAL SYSTEMS.
 - ALL LIBRARY SPACES SERVED BY (RTU-6).
 - MAIN OFFICE SERVED BY (RTU-3).

ABBREVIATIONS

%	PERCENT	L	LENGTH
Ø	DIAMETER	LBS	POUNDS
ΔT	CHANGE OF TEMPERATURE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MBH	1000 BRITISH THERMAL UNITS PER HOUR
AMP	AMPERE	MIN	MINIMUM
APD	AIR PRESSURE DROP	NC	NOISE CRITERIA
APPROX	APPROXIMATE	NC	NORMALLY CLOSED
BTU/H	BRITISH THERMAL UNITS PER HOUR	NIC	NOT IN CONTRACT
CAP	CAPACITY	NO	NUMBER
CFM	CUBIC FEET PER MINUTE	NTS	NOT TO SCALE
DB	DRY BULB	PH	PHASE
DDC	DIRECT DIGITAL CONTROL	RA	RETURN AIR
DIA	DIAMETER	RPM	REVOLUTIONS PER MINUTE
DISCH	DISCHARGE	(RTU-x)	EXISTING ROOFTOP UNIT DESIGNATION
DN	DOWN	SA	SUPPLY AIR
(EF-x)	EXISTING EXHAUST FAN DESIGNATION	T	THERMOSTAT OR TEMPERATURE SENSOR
ESP	EXTERNAL STATIC PRESSURE	TEMP	TEMPORARY
*F	DEGREES FAHRENHEIT	TYP	TYPICAL
FPM	FEET PER MINUTE	UL	UNDERWRITERS LABORATORIES
FT	FEET	V	VENT
GA	GAUGE	V	VOLTS
GALV	GALVANIZED	VFD	VARIABLE FREQUENCY DRIVE
HP	HORSEPOWER	W	WATTS
HT	HEIGHT	W	WIDTH
ID	INSIDE DIAMETER		
IN	INCH/INCHES		
<u>KEF-x</u>	KITCHEN HOOD EXHAUST FAN DESIGNATION		
<u>KH-x</u>	KITCHEN HOOD DESIGNATION		
<u>KMAU-x</u>	KITCHEN HOOD MAKE-UP AIR UNIT DESIGNATION		

LEGEND

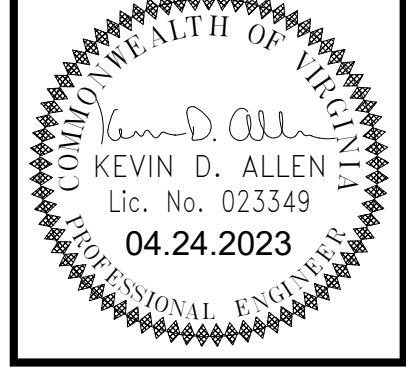
	VOLUME DAMPER		90° OVAL DUCT ELBOW - TURN UP
	SMOKE DETECTOR LOCATION		90° OVAL DUCT ELBOW - TURN DOWN
	BALANCE EXISTING AIR TERMINAL TO CFM INDICATED		90° RECTANGULAR DUCT ELBOW - TURN UP
	DIFFUSER, REGISTER, AND GRILLE CFM AS INDICATED		90° RECTANGULAR DUCT ELBOW - TURN DOWN
	3/4\"/>		90° ROUND DUCT ELBOW - TURN UP
	THERMOSTAT OR TEMPERATURE SENSOR, CONTROLLING UNIT AS INDICATED		90° ROUND DUCT ELBOW - TURN DOWN
	RETURN/EXHAUST GRILLE		ROOF MOUNTED EXHAUST FAN
	SUPPLY DIFFUSER		FLAT OVAL DUCT
	SIDEWALL GRILLE		ROUND DUCT
	LINEAR DIFFUSER		DEMOLITION NOTE
	EXISTING TO BE REMOVED		NEW WORK NOTE
	DUCTWORK WITH TRANSITION		POINT OF DEMOLITION
	FLEXIBLE AIR DUCT		POINT OF NEW WORK
	TRANSFER DUCT WITH GRILLE, SIZE AS INDICATED		DIRECTION OF AIR FLOW
	RECTANGULAR DUCT ELBOW WITH TURNING VANES		EXISTING SIZES AS INDICATED
	ROUND OR RADIUS DUCT ELBOW		



DESCRIPTION
BY
MARK DATE
REVISIONS

DATE	04/24/2023	PROJECT	21215-00	RHC	JAR
DESIGNED		DRAWN		CHECKED	

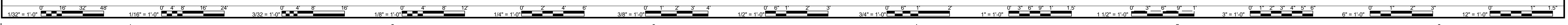
DATE	04/24/2023	PROJECT	21215-00	RHC	JAR
DESIGNED		DRAWN		CHECKED	



PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: GENERAL NOTES, LEGEND AND ABBREVIATIONS

SHEET: M-001



GRILLE, REGISTER & DIFFUSER SCHEDULE

MARK	NECK SIZE	DESCRIPTION	MATERIAL	FINISH	VOLUME DAMPER	SHAPE	MAXIMUM ΔP	MAXIMUM NC	SELECTION BASED ON "PRICE"	REMARKS
(A)	6"ø	LOUVERED FACE ADJUSTABLE CEILING DIFFUSER	STEEL	WHITE	NO	SQUARE	0.1"	25	SCDA	(1) (2)
(B)	8"ø	LOUVERED FACE ADJUSTABLE CEILING DIFFUSER	STEEL	WHITE	NO	SQUARE	0.1"	25	SCDA	(1) (2)
(C)	10"ø	LOUVERED FACE ADJUSTABLE CEILING DIFFUSER	STEEL	WHITE	NO	SQUARE	0.1"	25	SCDA	(1) (3)
(W)	22" x 22"	CEILING RETURN OR EXHAUST GRILLE 45° DEFLECTION, 3/4" SPACING	STEEL	WHITE	NO	SQUARE	0.1"	25	530	(1)
(X)	16" x 16"	CEILING RETURN OR EXHAUST GRILLE 45° DEFLECTION, 3/4" SPACING	STEEL	WHITE	NO	SQUARE	0.1"	25	530	(1)
(Y)	12" x 12"	CEILING RETURN OR EXHAUST GRILLE 45° DEFLECTION, 3/4" SPACING	STEEL	WHITE	NO	SQUARE	0.1"	25	530	(1)
(Z)	8" x 8"	CEILING RETURN OR EXHAUST GRILLE 45° DEFLECTION, 3/4" SPACING	STEEL	WHITE	NO	SQUARE	0.1"	25	530	(1)

REMARKS: (1) REFER TO ARCHITECT'S REFLECTED CEILING PLAN FOR CEILING TYPES. FOR ACOUSTIC CEILING, PROVIDE WITH 24" x 24" PANEL SUITABLE FOR MOUNTING IN LAY-IN GRID. FOR DRYWALL CEILING, PROVIDE WITH SMALL FACE AND SURFACE MOUNT FRAME.
 (2) PROVIDE 3-CONE, 12" x 12" FACE MOUNTED IN 2' x 2' METAL PANEL.
 (3) PROVIDE 4-CONE, 24" x 24" FACE MOUNTED IN 2' x 2' METAL PANEL.

ELECTRIC WALL HEATER SCHEDULE

MARK	CAPACITY (BTUH)	ELECTRIC HEATING COIL			SELECTION BASED ON "MARKET"	REMARKS
		W	V	PH		
EH-A	6826	2000	277	1	G3052T2DWB	(1)

REMARKS: (1) PROVIDE WITH FACTORY BUILT-IN THERMOSTAT AND DISCONNECT SWITCH.

EXHAUST FAN INFORMATION

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	MANUFACTURER	CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	DISCHARGE VELOCITY	WEIGHT (LBS)	SONES
A	KEF-1	1	DU240HFA	CAPTIVEAIRE	4700	1,400	906	ODP,PREMIUM	5.000	2.1860	3	460	6.8	1068 FPM	262	16

MAU FAN INFORMATION

FAN UNIT NO	TAG	QTY	FAN UNIT MODEL #	BLOWER	HOUSING	MIN CFM	DESIGN CFM	ESP	RPM	MOTOR ENCL	HP	BHP	PHASE	VOLT	FLA	MCA	MOCP	WEIGHT (LBS)	SONES
2	KMAU-1	1	A2-D.500-20D	20MF-2-MOD	A2-D.500	2,000	3760	0.450	1421	ODP,PREMIUM	2.000	1.6760	3	460	308	4.8A	15A	671	12.7

GAS FIRED MAKE-UP AIR UNIT(S)

FAN UNIT NO	TAG	INPUT BTUs	OUTPUT BTUs	TEMP RISE	REQUIRED INPUT GAS PRESSURE	GAS TYPE	BURNER EFFICIENCY (%)
2	KMAU-1	240145	220933	55°F	7 IN. W.C. - 14 IN. W.C.	LP	92

HOOD INFORMATION

FAN UNIT NO	TAG	MODEL	MANUFACTURER	LENGTH	MAX COOKING TEMP	TYPE	APPLIANCE DUTY	DESIGN CFM/FT	TOTAL EXHAUST CFM	EXHAUST PLENUM RISER(S)							TOTAL SUPPLY CFM	HOOD CONSTRUCTION	HOOD CONFIG	
										WIDTH	LENG	HEIGHT	DIA	CFM	VEL	SP			END TO END	ROW
1	KH-1	5424 ND-2PSP-F	CAPTIVEAIRE	10'-0"	600 DEG	I	HEAVY	235	2350			4"	16"	2350	1683	-1.072"	1880	430 SS WHERE EXPOSED	ALONE	FRONT
2	KH-2	5424 ND-2PSP-F	CAPTIVEAIRE	10'-0"	600 DEG	I	HEAVY	235	2350			4"	16"	2350	1683	-1.072"	1880	430 SS WHERE EXPOSED	ALONE	BACK

HOOD INFORMATION

FAN UNIT NO	TAG	FILTER(S)				LIGHT(S)				UTILITY CABINET(S)				FIRE SYSTEM PIPING	HOOD HANGING WEIGHT		
		TYPE	QTY	HEIGHT	LENGTH	EFFICIENCY @ 7 MICRONS	QTY	TYPE	WIRE GUARD	LOCATION	SIZE	FIRE SYSTEM				ELECTRICAL	SWITCHES
												TYPE	SIZE			MODEL #	QUANTITY
1	KH-1	CAPTRATE SOLO FILTER	7	16"	16"	85% SEE FILTER SPEC	3	RECESSED ROUND	NO	RIGHT	12"x54"x24"	ANSUL R-102	3.0	DCV-1111	1 LIGHT 1 FAN	YES	693 LBS
2	KH-2	CAPTRATE SOLO FILTER	7	16"	16"	85% SEE FILTER SPEC	3	RECESSED ROUND	NO	LEFT	12"x54"x24"	-	-	-	-	YES	626 LBS

HOOD FEATURES

HOOD NO	TAG	FEATURES
1	KH-1	FIELD WRAPPER 18.00" HIGH FRONT, LEFT, RIGHT. RISER SENSOR INSTALL 6IN PLEN.
2	KH-2	FIELD WRAPPER 18.00" HIGH FRONT, LEFT, RIGHT. RISER SENSOR INSTALL 6IN PLEN.

HOOD FEATURES

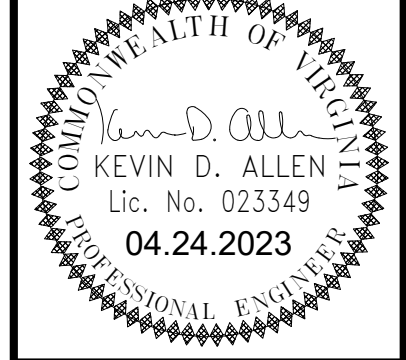
HOOD NO	TAG	POS	LENGTH	WIDTH	HEIGHT	TYPE	RISER(S)				
							WIDTH	LENGTH	DIA	CFM	SP
1	KH-1	FRONT	132"	16"	6"	MUA	8"	36"	-	626	0.175"
						MUA	8"	36"	-	626	0.175"
2	KH-2	FRONT	132"	16"	6"	MUA	8"	36"	-	626	0.175"
						MUA	8"	36"	-	626	0.175"



DESCRIPTION
BY
MARK DATE
REVISIONS

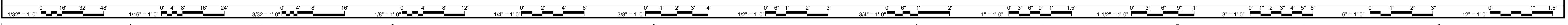
DATE	04/24/2023
PROJECT	21215-00
DESIGNED	RHC
DRAWN	JAR
CHECKED	

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	RHC
DRAWN	JAR
CHECKED	



PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 DRAWING: MECHANICAL SCHEDULES

SHEET
M-002



DEMOLITION NOTES	
NO.	DESCRIPTION
D1	DISCONNECT DUCTWORK AT POINT INDICATED AND REMOVE SUFFICIENT DUCTWORK TO FACILITATE THE NEW CONNECTION SIZE.
D2	DISCONNECT DUCTWORK AT POINT INDICATED. REMOVE SUFFICIENT LENGTH OF DUCTWORK TO FACILITATE THE NEW WORK.
D3	REMOVE KITCHEN HOOD MAKE-UP AIR FAN COMPLETE INCLUDING ALL ASSOCIATED CONTROLS. REFER TO DRAWING M4.4 FOR ROOF CURB CAPPING DETAILS.
D4	REMOVE KITCHEN HOOD COMPLETE INCLUDING ALL ASSOCIATED HANGERS, SUPPORTS AND FIRE SUPPRESSION SYSTEM COMPONENTS.
D5	REMOVE KITCHEN HOOD EXHAUST DUCTWORK COMPLETE INCLUDING ALL ASSOCIATED HANGERS AND SUPPORTS.
D6	REMOVE KITCHEN HOOD MAKE-UP AIR DUCTWORK COMPLETE INCLUDING ALL ASSOCIATED HANGERS AND SUPPORTS.
D7	REMOVE KITCHEN HOOD EXHAUST FAN COMPLETE INCLUDING ALL ASSOCIATED CONROLS AND ROOF CURBS.
D8	REMOVE ELECTRIC HEATER COMPLETE INCLUDING ALL ASSOCIATED CONTROLS AND MOUNTING BRACKETS.

DATE	BY	DESCRIPTION
04/24/2023 <td>RHC <td>DESIGNED</td> </td>	RHC <td>DESIGNED</td>	DESIGNED
21215-00 <td>JAR <td>DRAWN</td> </td>	JAR <td>DRAWN</td>	DRAWN
		CHECKED

DATE	PROJECT	DESIGNED	DRAWN	CHECKED
04/24/2023	21215-00	RHC	JAR	

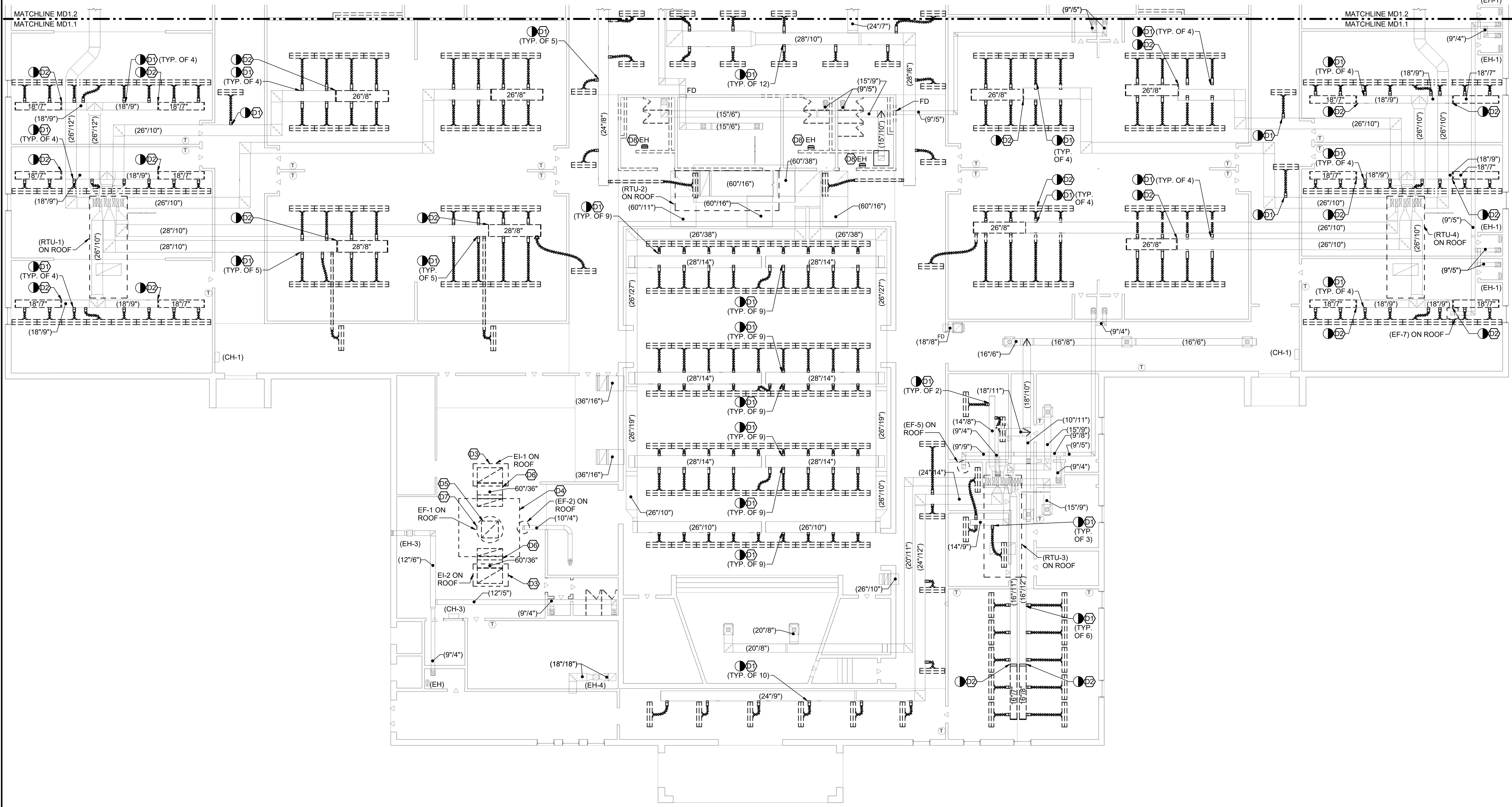
RRMM
ARCHITECTS, P.C.
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804)277-8987

PROFESSIONAL SEAL
KEVIN D. ALLEN
Lic. No. 023349
04.24.2023

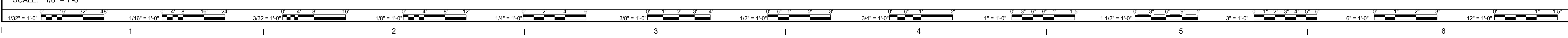
PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: FLOOR PLAN - AREA "A" - MECHANICAL - DEMOLITION

SHEET: MD-101



FLOOR PLAN - AREA "A" - MECHANICAL - DEMOLITION



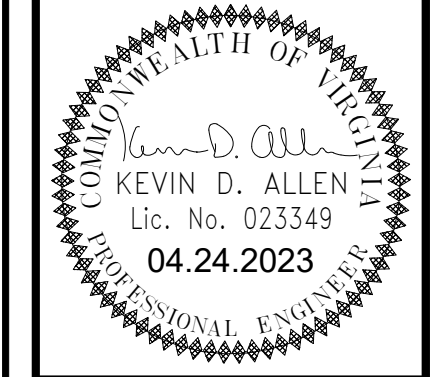
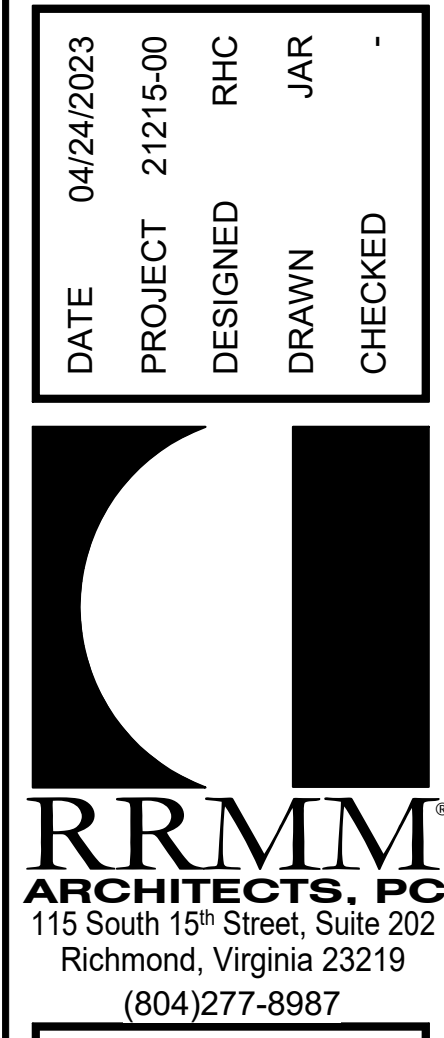
4/24/2023 5:00:05 PM BM 360/121215-01 Dinwiddie County Public Schools/Southside ES - Mechanical - R21.rvt

DEMOLITION NOTES	
NO.	DESCRIPTION
D1	DISCONNECT DUCTWORK AT POINT INDICATED AND REMOVE SUFFICIENT DUCTWORK TO FACILITATE THE NEW CONNECTION SIZE.
D2	DISCONNECT DUCTWORK AT POINT INDICATED. REMOVE SUFFICIENT LENGTH OF DUCTWORK TO FACILITATE THE NEW WORK.
D8	REMOVE ELECTRIC HEATER COMPLETE INCLUDING ALL ASSOCIATED CONTROLS AND MOUNTING BRACKETS.



DATE	04/24/2023	PROJECT	21215-00	DESIGNED	RHC	DRAWN	JAR	CHECKED	
BY		DESCRIPTION		MARK		DATE		REVISIONS	

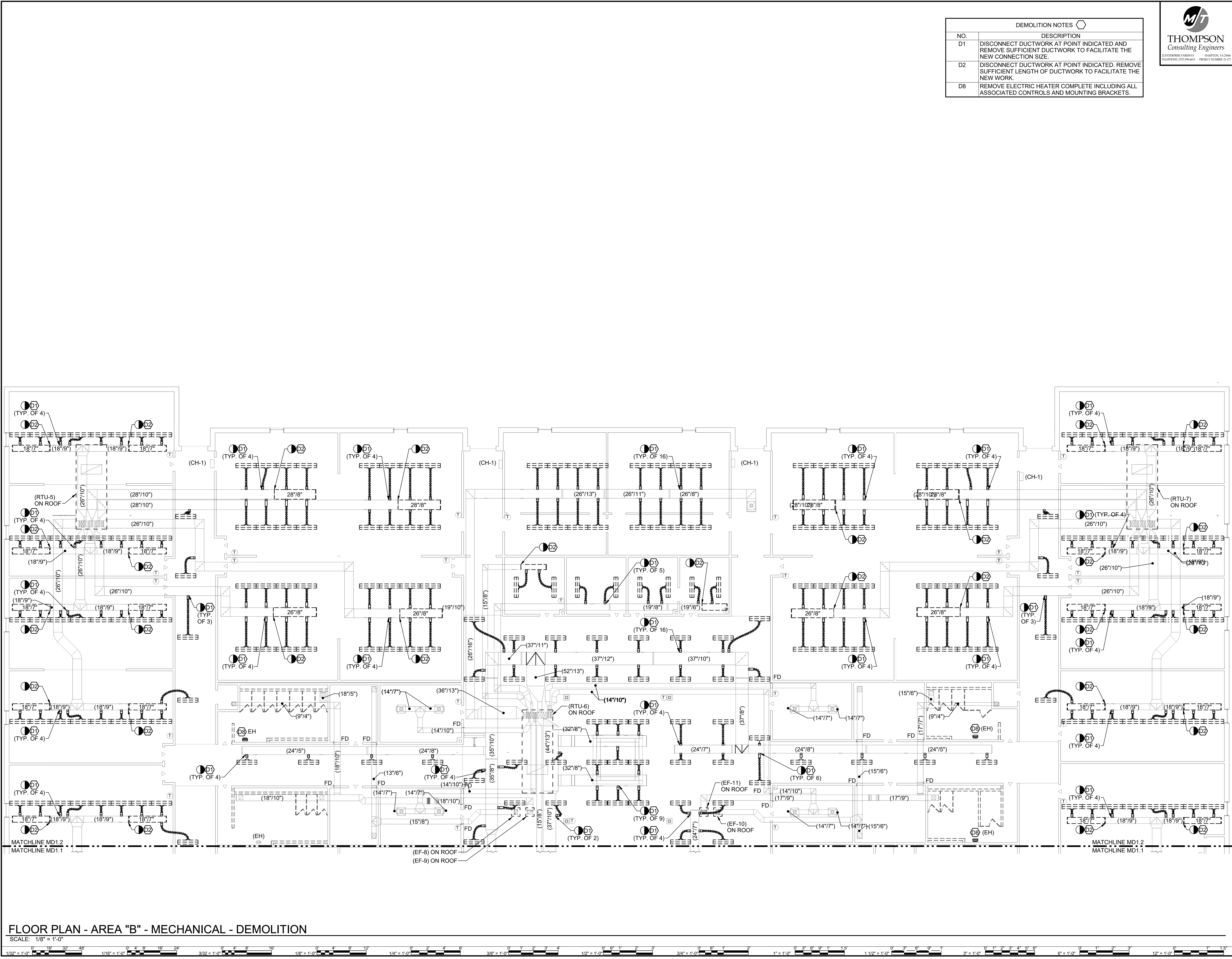
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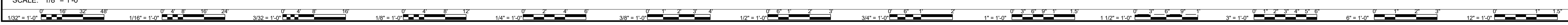
PROJECT
DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING
FLOOR PLAN - AREA "B" - MECHANICAL - DEMOLITION

SHEET
MD-102



FLOOR PLAN - AREA "B" - MECHANICAL - DEMOLITION



4/24/2023 3:00:12 PM BM 360/121215-01 Dinwiddie County Public Schools/Southside ES - Mechanical - R21.rvt

NEW WORK NOTES	
NO.	DESCRIPTION
1	PROVIDE SUFFICIENT DUCTWORK INCLUDING TRANSITIONS AND OFFSETS TO MAKE CONNECTION TO EXISTING AIR DISTRIBUTION SYSTEMS. INSULATE ALL MODIFIED AND NEW DUCTWORK IN ACCORDANCE WITH SPECIFICATION 230700.
2	16"Ø TRANSITION TO 16"Ø UP TO FAN ON ROOF. MAKE CONNECTION TO THE KITCHEN HOOD VERTICALLY.
3	REFER TO DRAWINGS M4.1 AND M4.2 FOR KITCHEN HOOD AND ASSOCIATED EQUIPMENT DETAILS.
6	PROVIDE REMOTE FIRE SUPPRESSION PULL STATION AT THIS LOCATION.



DATE	BY	DESCRIPTION
04/24/2023	RHC	DESIGNED
21215-00	JAR	DRAWN
		CHECKED

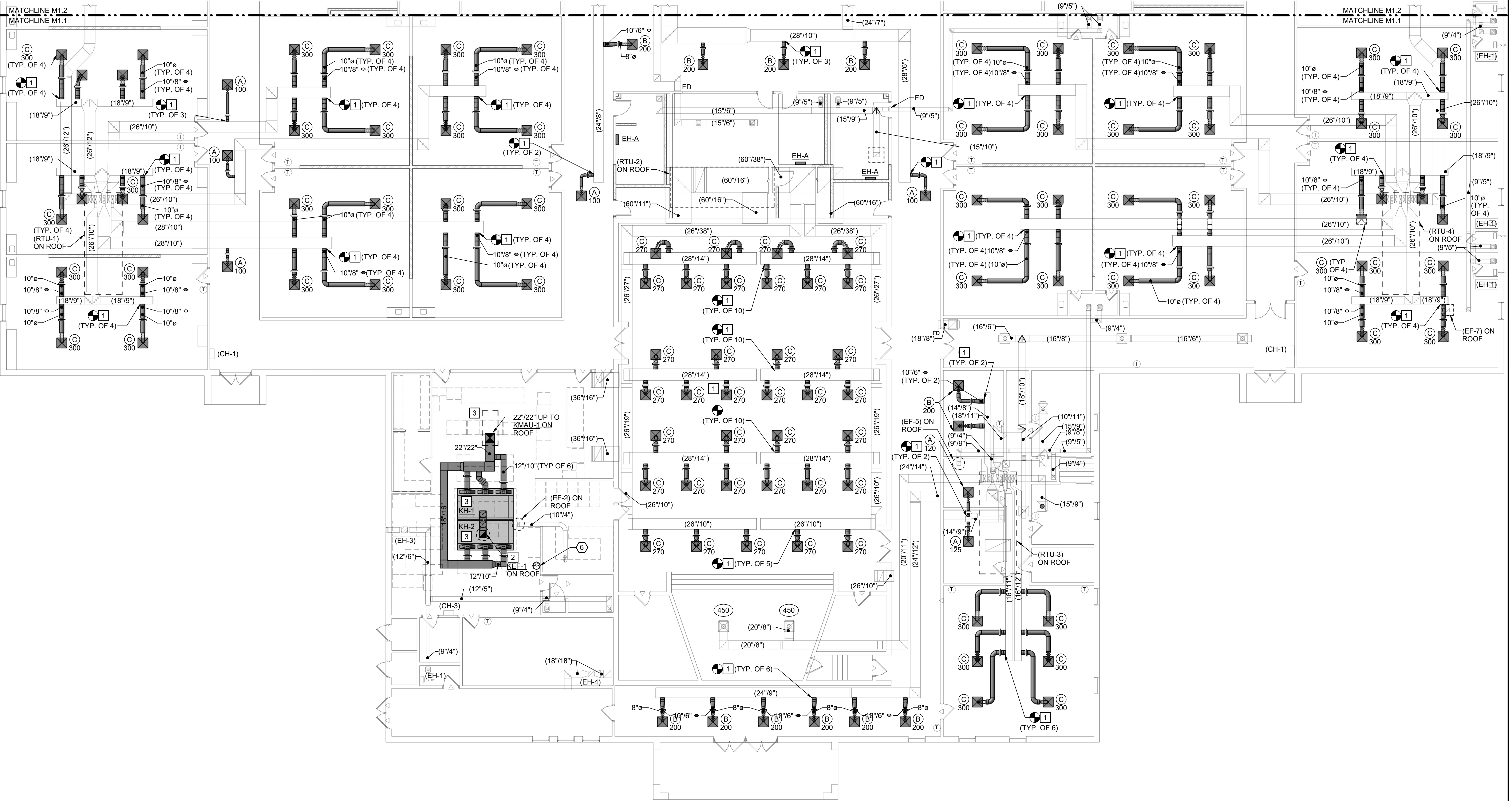
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04/24/2023	21215-00	RHC	JAR	

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	RHC
DRAWN	JAR
CHECKED	

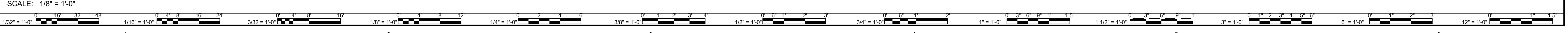


DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
FLOOR PLAN - AREA "A" - MECHANICAL - NEW WORK

PROJECT SHEET
M-101



FLOOR PLAN - AREA "A" - MECHANICAL - NEW WORK



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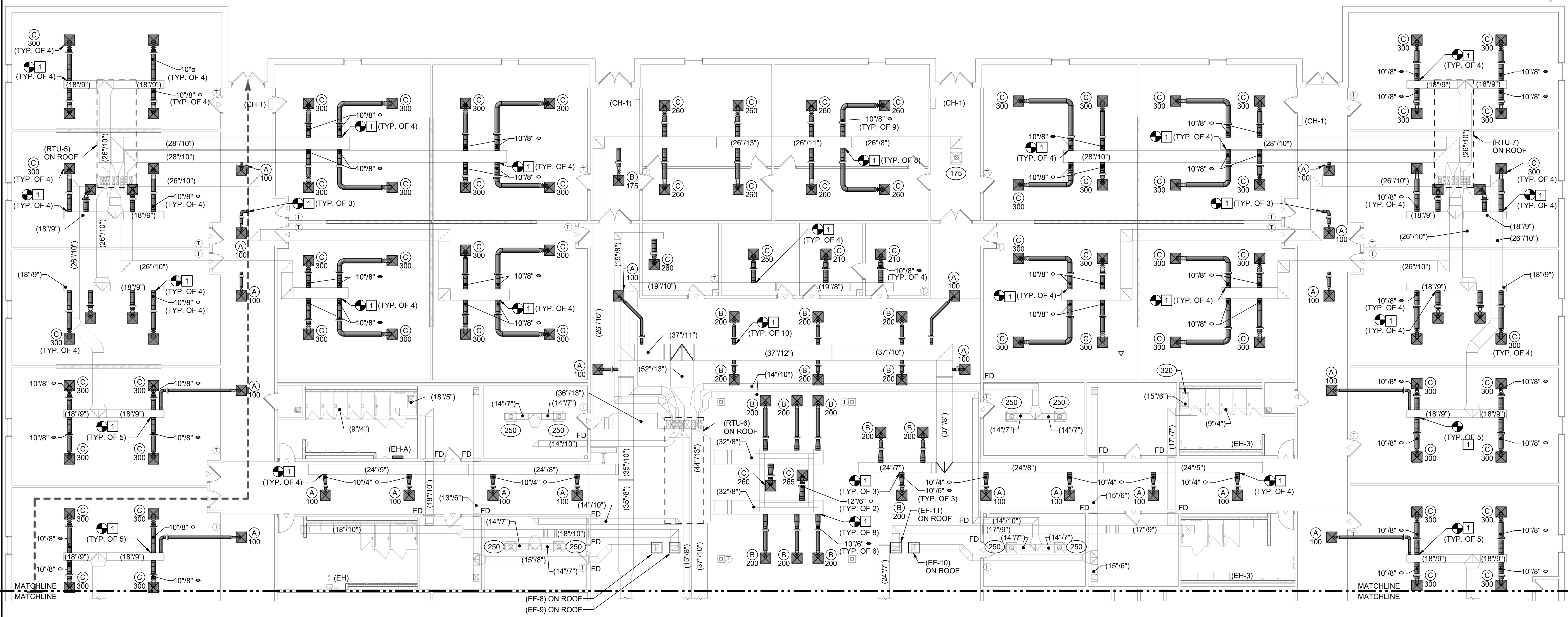
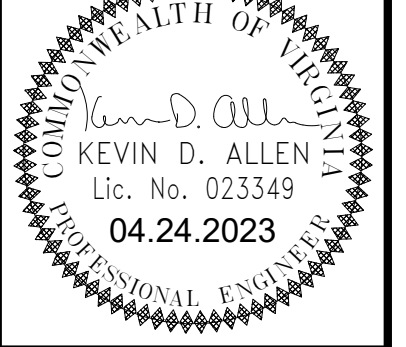
NEW WORK NOTES	
NO.	DESCRIPTION
1	PROVIDE SUFFICIENT DUCTWORK INCLUDING TRANSITIONS AND OFFSETS TO MAKE CONNECTION TO EXISTING AIR DISTRIBUTION SYSTEMS. INSULATE ALL MODIFIED AND NEW DUCTWORK IN ACCORDANCE WITH SPECIFICATION 230700.



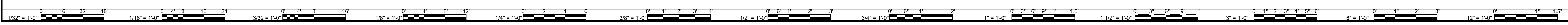
DESCRIPTION	
BY	
DATE	
REVISIONS	

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	RHC
DRAWN	JAR
CHECKED	

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	RHC
DRAWN	JAR
CHECKED	



FLOOR PLAN - AREA "B" - MECHANICAL - NEW WORK
SCALE: 1/8" = 1'-0"



4/24/2023 4:39:54 PM BM 360/121215-01 Dinwiddie County Public Schools/Southside ES - Mechanical - R21.rvt

PROJECT
 DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 DRAWING
 FLOOR PLAN - AREA "B" - MECHANICAL - NEW WORK

SHEET
M-102

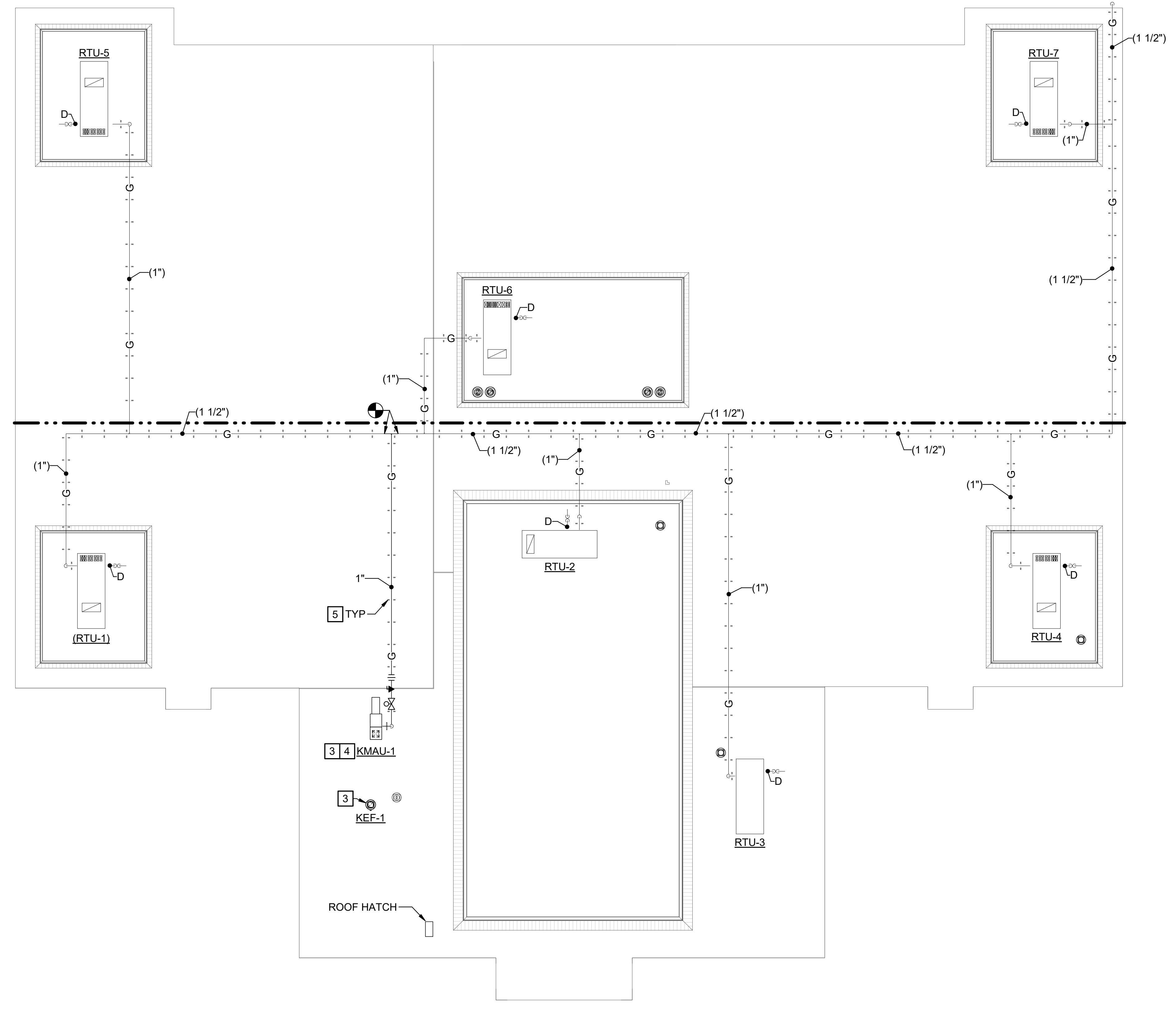
NEW WORK NOTES	
NO.	DESCRIPTION
3	REFER TO DRAWINGS M4.1 AND M4.2 FOR KITCHEN HOOD AND ASSOCIATED EQUIPMENT DETAILS.
4	REFER TO GAS CONNECTION DETAIL DRAWING ON M4.4.
5	REFER TO "PROPANE GAS AND CONDENSATE PIPE SUPPORT DETAIL" ON DRAWING M4.4.



MARK	DATE	BY	DESCRIPTION

DATE	PROJECT	DESIGNED	DRAWN	RHC	JAR	CHECKED
04/24/2023	21215-00	RHC	JAR			

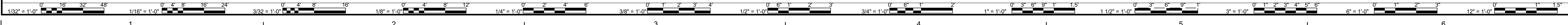
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ROOF PLAN - AREA "A" - MECHANICAL - NEW WORK

SCALE: 1/16" = 1'-0"

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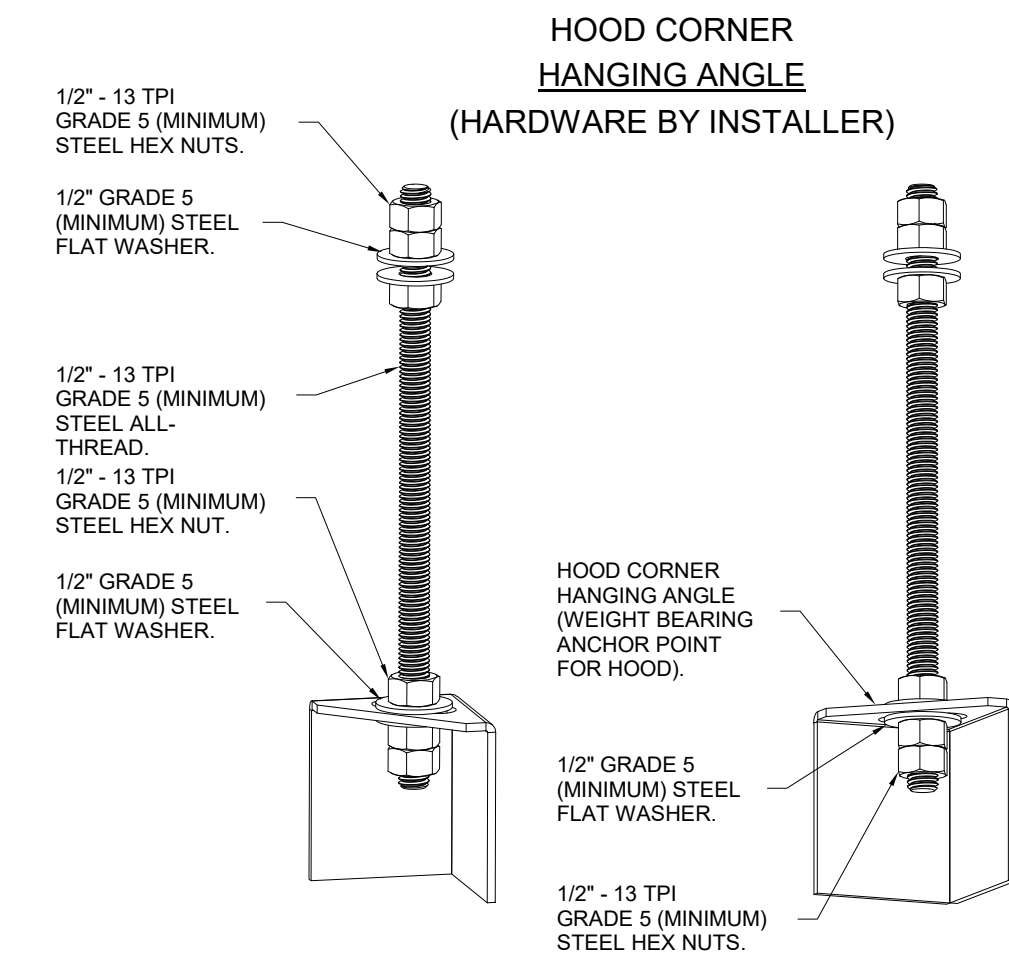
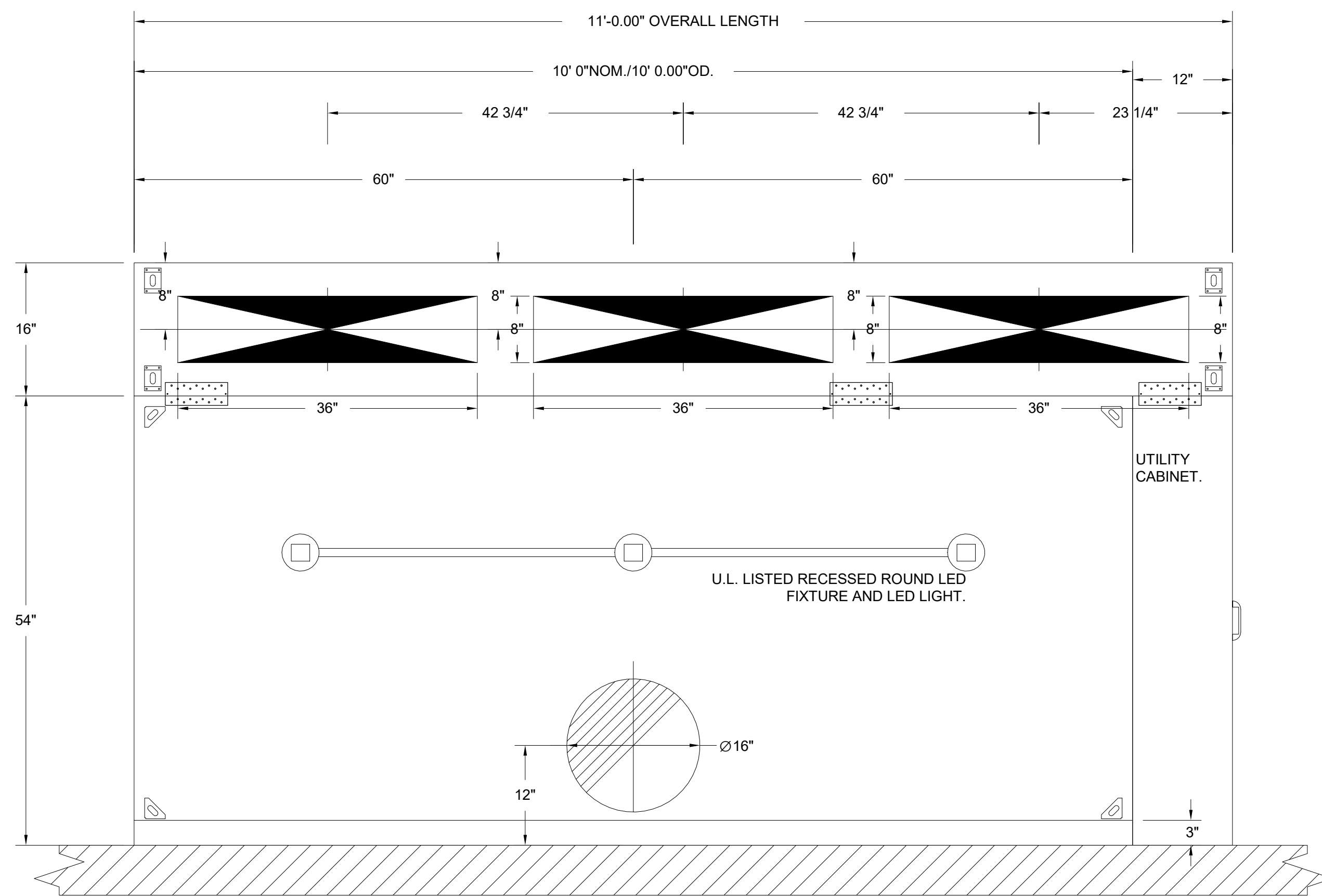


PROJECT **DINWIDDIE COUNTY PUBLIC SCHOOLS**
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

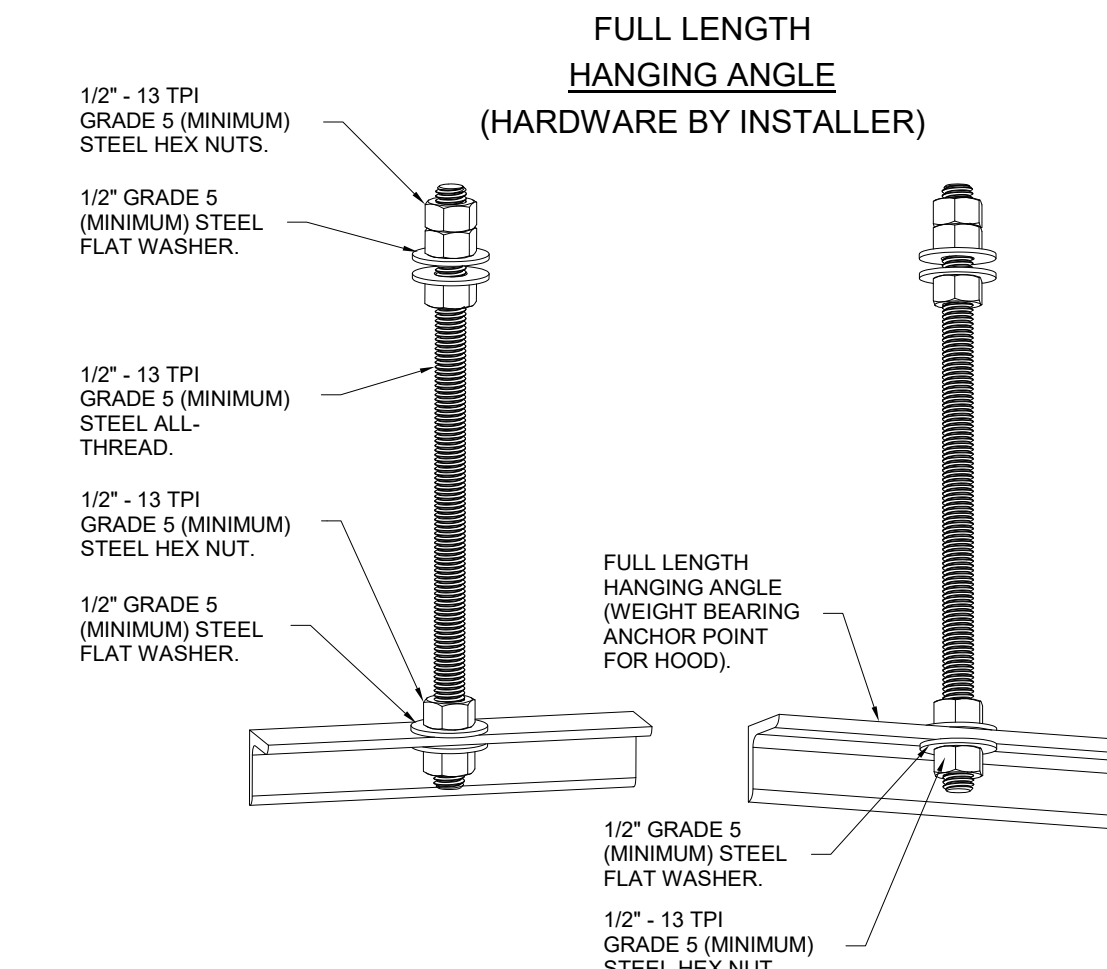
DRAWING **ROOF PLAN - OVERALL - MECHANICAL - NEW WORK**

SHEET
M-201

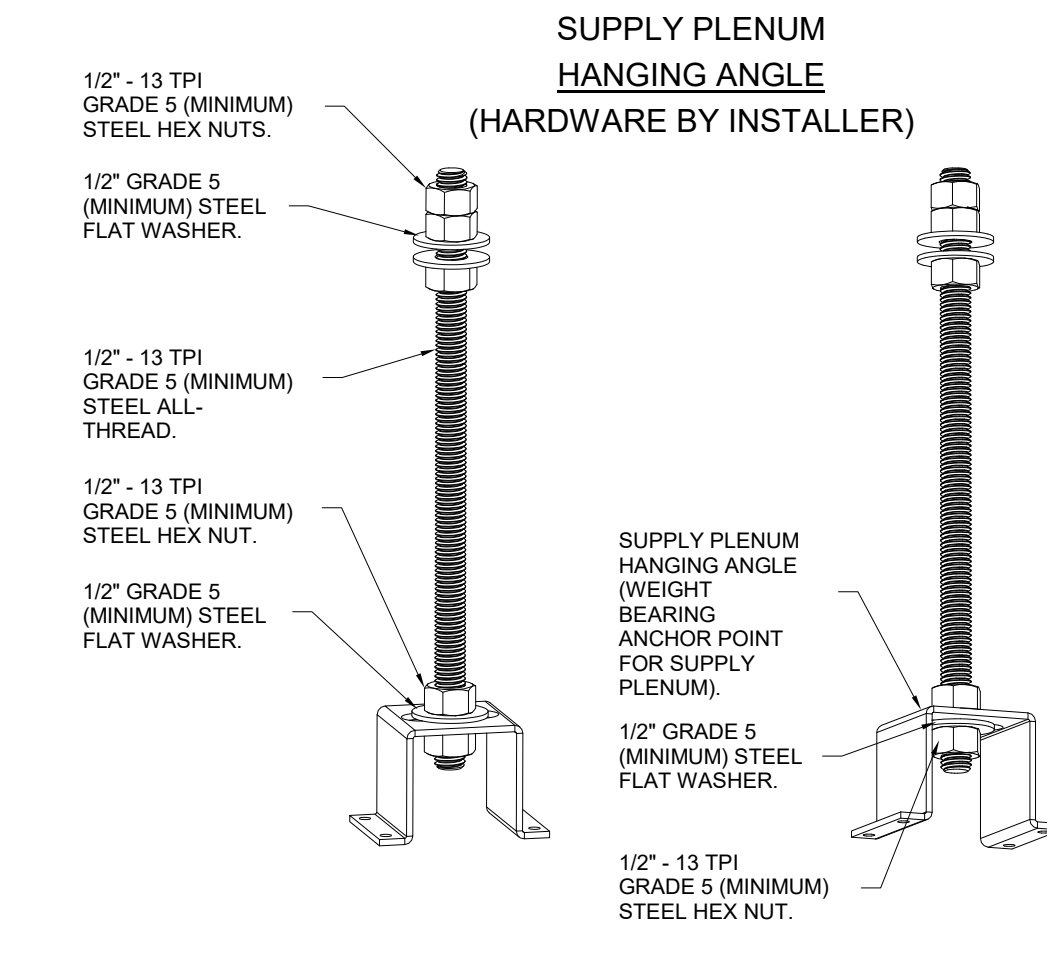
PLAN VIEW - HOOD 1 & 2
 10' 0.00" LONG
 5424ND-2-PSP-F



ASSEMBLY INSTRUCTIONS
 HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD. SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION ABOVE CEILING ANCHORS. SINGLE HEX NUT BENEATH HANGING ANGLE IS ACCEPTABLE FOR PSP HANGING ANGLES. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



ASSEMBLY INSTRUCTIONS
 HANGING ANGLE MUST BE SUPPORTED WITH 1/2" - 13 TPI GRADE 5 (MINIMUM) ALL-THREAD. SANDWICH HANGING ANGLES AND CEILING ANCHOR POINTS WITH 1/2" GRADE 5 (MINIMUM) STEEL FLAT WASHERS AND 1/2" - 13 TPI GRADE 5 (MINIMUM) HEX NUTS AS SHOWN. MUST USE DOUBLED HEX NUT CONFIGURATION ABOVE CEILING ANCHORS. SINGLE HEX NUT BENEATH HANGING ANGLE IS ACCEPTABLE FOR PSP HANGING ANGLES. MAINTAIN 1/4" OF EXPOSED THREADS BENEATH BOTTOM HEX NUT. TORQUE ALL HEX NUTS TO 57 FT-LBS.



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DESCRIPTION	
BY	
DATE	
REVISIONS	

DATE	04/24/2023	PROJECT	21215-00	DESIGNED	RHC	DRAWN	JAR	CHECKED	
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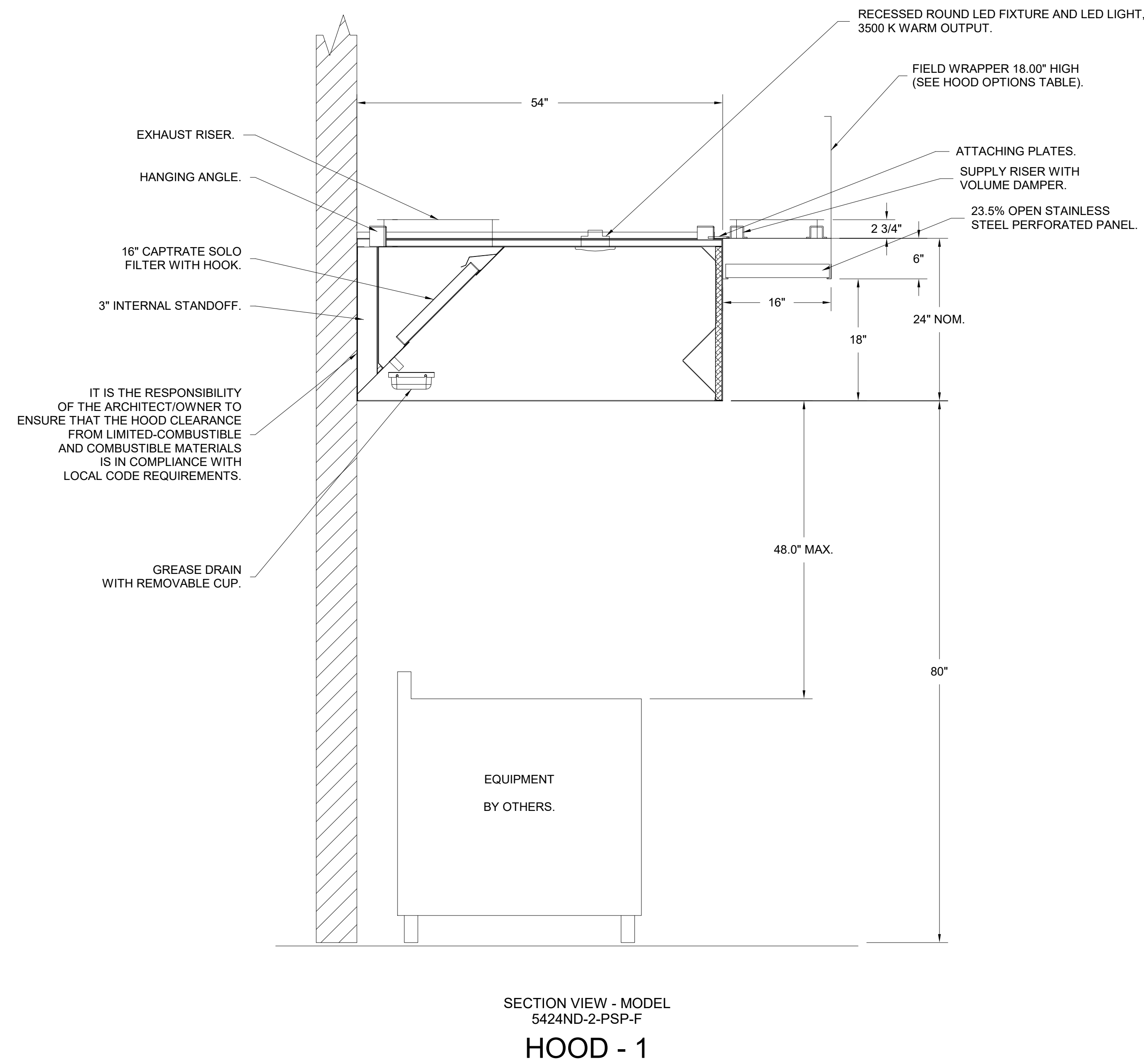
DATE	04/24/2023	PROJECT	21215-00	DESIGNED	RHC	DRAWN	JAR	CHECKED	
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 115 South 15th Street, Suite 202
 Richmond, Virginia 23219
 (804)277-8987

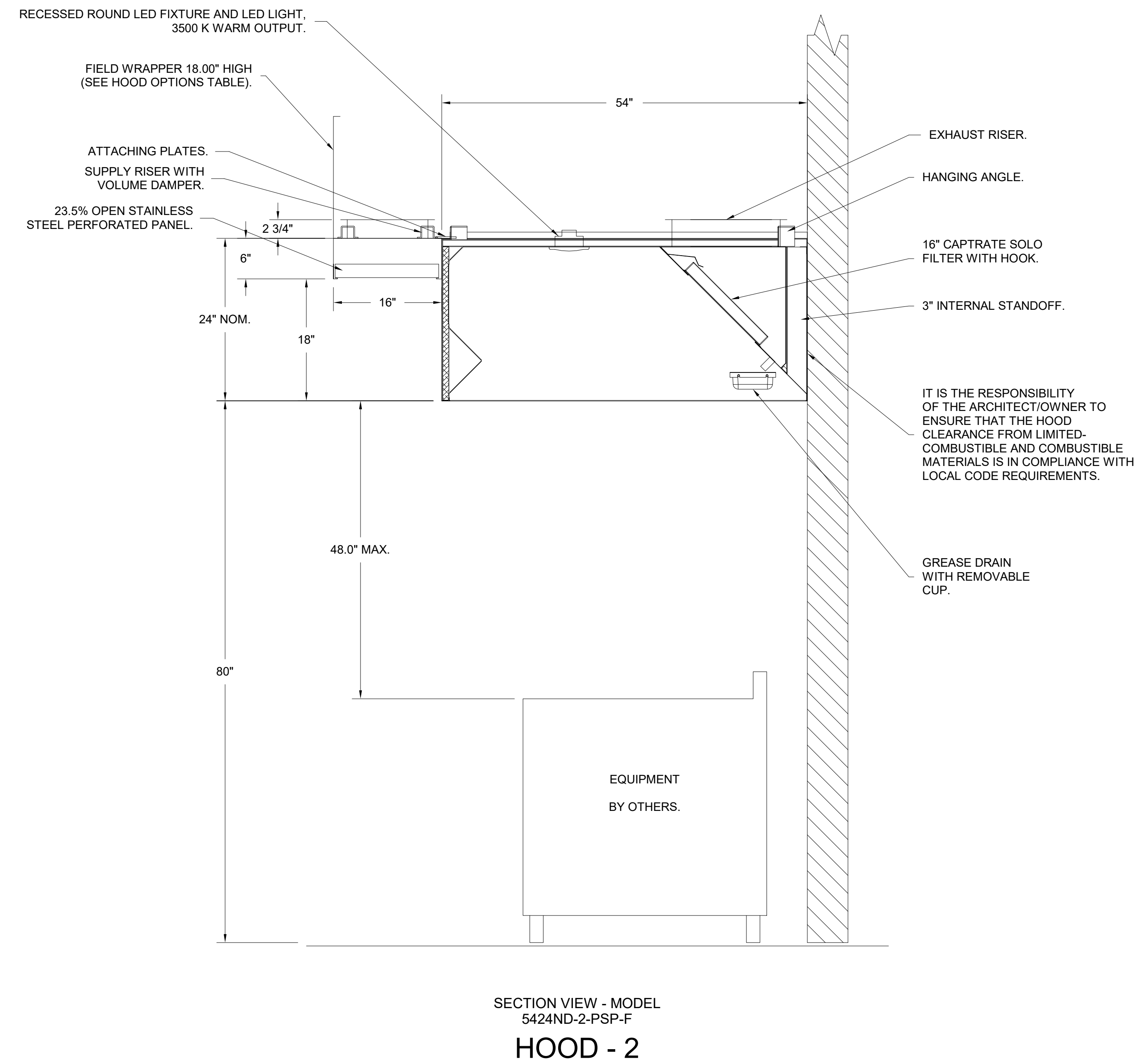
PROFESSIONAL SEAL
 KEVIN D. ALLEN
 Lic. No. 023549
 04.24.2023

PROJECT: **DINWIDDIE COUNTY PUBLIC SCHOOLS SOUTHSIDE ELEMENTARY SCHOOL RENOVATION**
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
 DRAWING: **MECHANICAL DETAILS**

SHEET: **M-401**

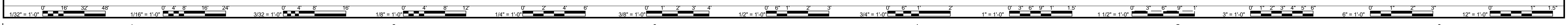


SECTION VIEW - MODEL
 5424ND-2-PSP-F
HOOD - 1



SECTION VIEW - MODEL
 5424ND-2-PSP-F
HOOD - 2

KH-1 AND KH-2 VIEWS, SPECIFICATIONS AND DETAILS
 NOT TO SCALE



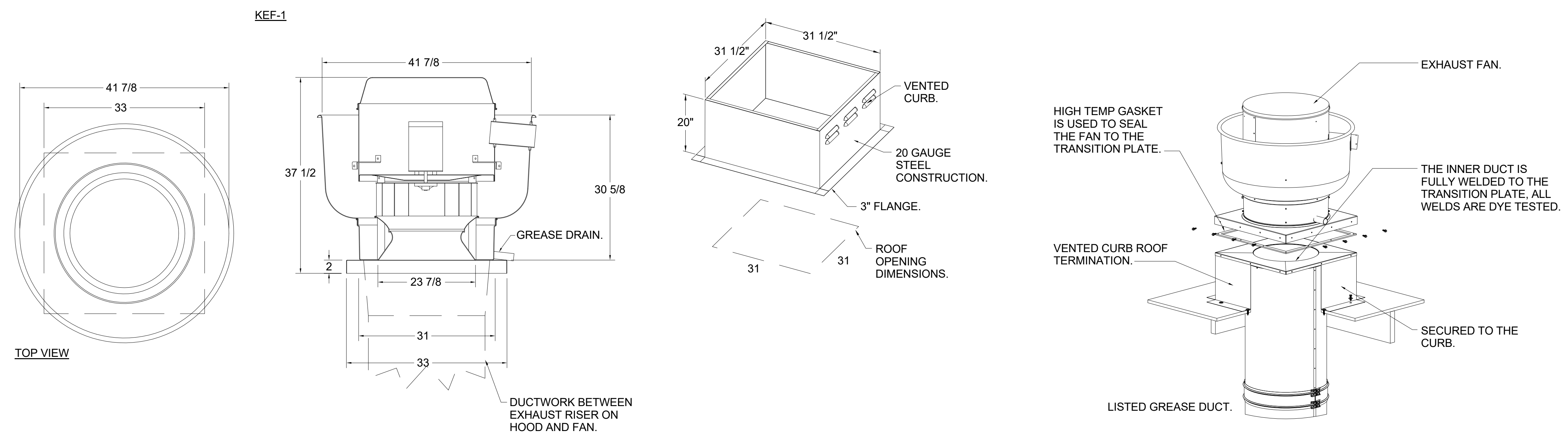
FEATURES:

- DIRECT DRIVE CONSTRUCTION (NO BELTS/PULLEYS).
- ROOF MOUNTED FANS.
- RESTAURANT MODEL.
- UL705 AND UL762 AND ULC-S645
- INTERNAL WIRING.
- VARIABLE SPEED CONTROL.
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE).
- HIGH HEAT OPERATION 300°F (149°C).
- GREASE CLASSIFICATION TESTING.
- NEMA 3R SAFETY DISCONNECT SWITCH.

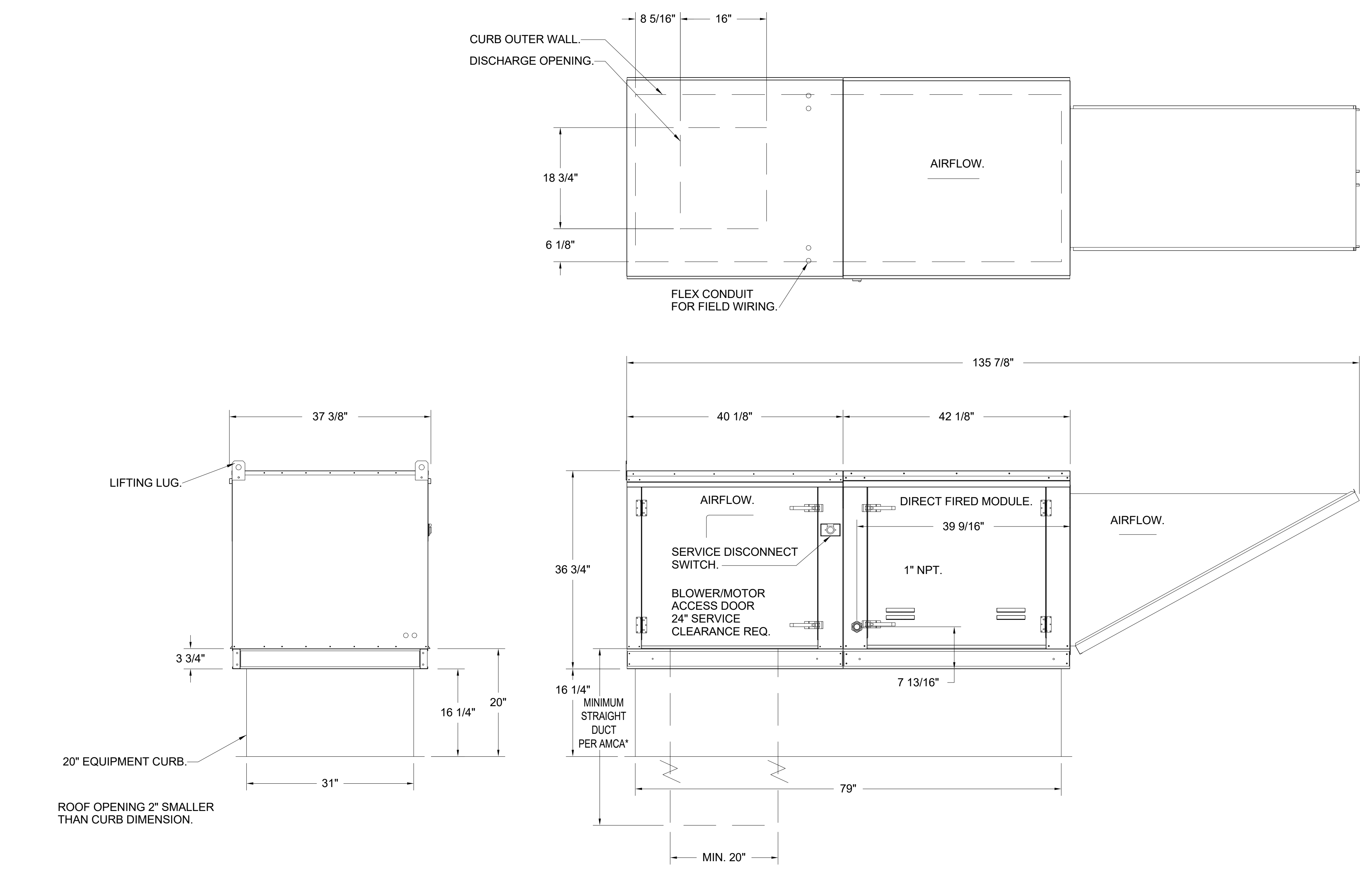
NORMAL TEMPERATURE TEST
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

ABNORMAL FLARE-UP TEST
AT 600°F (316°C) FOR A PERIOD OF EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

- OPTIONS**
- 2 YEAR PARTS WARRANTY.
 - LOAD REACTOR MOUNTED IN FAN.
 - GREASE BOX.



KEF-1 VIEWS, SPECIFICATIONS AND DETAILS
NOT TO SCALE



KMAU-1 VIEWS, SPECIFICATIONS AND DETAILS
NOT TO SCALE

KMAU-1 A2-D.500-20D - HEATER

1. DIRECT GAS FIRED HEATED MAKE UP AIR UNIT WITH 20" MIXED FLOW DIRECT DRIVE FAN.
2. INTAKE HOOD WITH EZ FILTERS.
3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT.
4. DOWN DISCHARGE CONSTRUCTION FOR SIZE 2 DIRECT DRIVE AHUS.
5. GAS PRESSURE GAUGE, 0-35", 2.5" DIAMETER, 1/4" THREAD SIZE.
6. GAS PRESSURE GAUGE, -5 TO +15 INCHES WC., 2.5" DIAMETER, 1/4" THREAD SIZE.
7. SHIP LOOSE GAS STRAINER. TO BE INSTALLED UPSTREAM OF UNIT CONNECTION. 1" CONNECTION.
8. MOTORIZED BACK DRAFT DAMPER 22.75" X 24" FOR SIZE 2 STANDARD & MODULAR HEATER UNITS W/EXTENDED SHAFT, STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LOW LEAKAGE, LF120S ACTUATOR INCLUDED.
9. MOUNT LOAD REACTOR IN FAN.
10. SEPARATE 120VAC WIRING PACKAGE FOR MAKE-UP AIR UNITS. OPTION MUST BE SELECTED WHEN MOUNTING VFD IN PREWIRE PANEL OR WITH DCV PACKAGE. PROVIDES SEPARATE 120VAC INPUT TO SUPPLY FAN. THIS 120V SIGNAL MUST BE RUN BY ELECTRICIAN FROM DCV TO MUA SWITCH.
11. PROFILE PLATE CONFIGURATION FOR SIZE 2 DIRECT FIRED UNIT FOR LOW CFM APPLICATIONS.
12. HINGED DOUBLE WALL INSULATED DOOR ASSEMBLY (BURNER/BLOWER SECTION).
13. 2 YEAR PARTS WARRANTY

SUPPLY SIDE HEATER PERFORMANCE DATA:

WINTER TEMPERATURE = 20°F.
TEMP. RISE = 55°F.
BTUs CALCULATED OFF ACTUAL AIR DENSITY.
OUTPUT BTUs AT ALTITUDE OF 0.0 FT. = 220933.
INPUT BTUs AT ALTITUDE OF 0.0 FT. = 240144.

DESCRIPTION	BY	DATE	REVISIONS

DATE	PROJECT	DESIGNED	DRAWN	RHC	JAR	CHECKED
04/24/2023	21215-00					

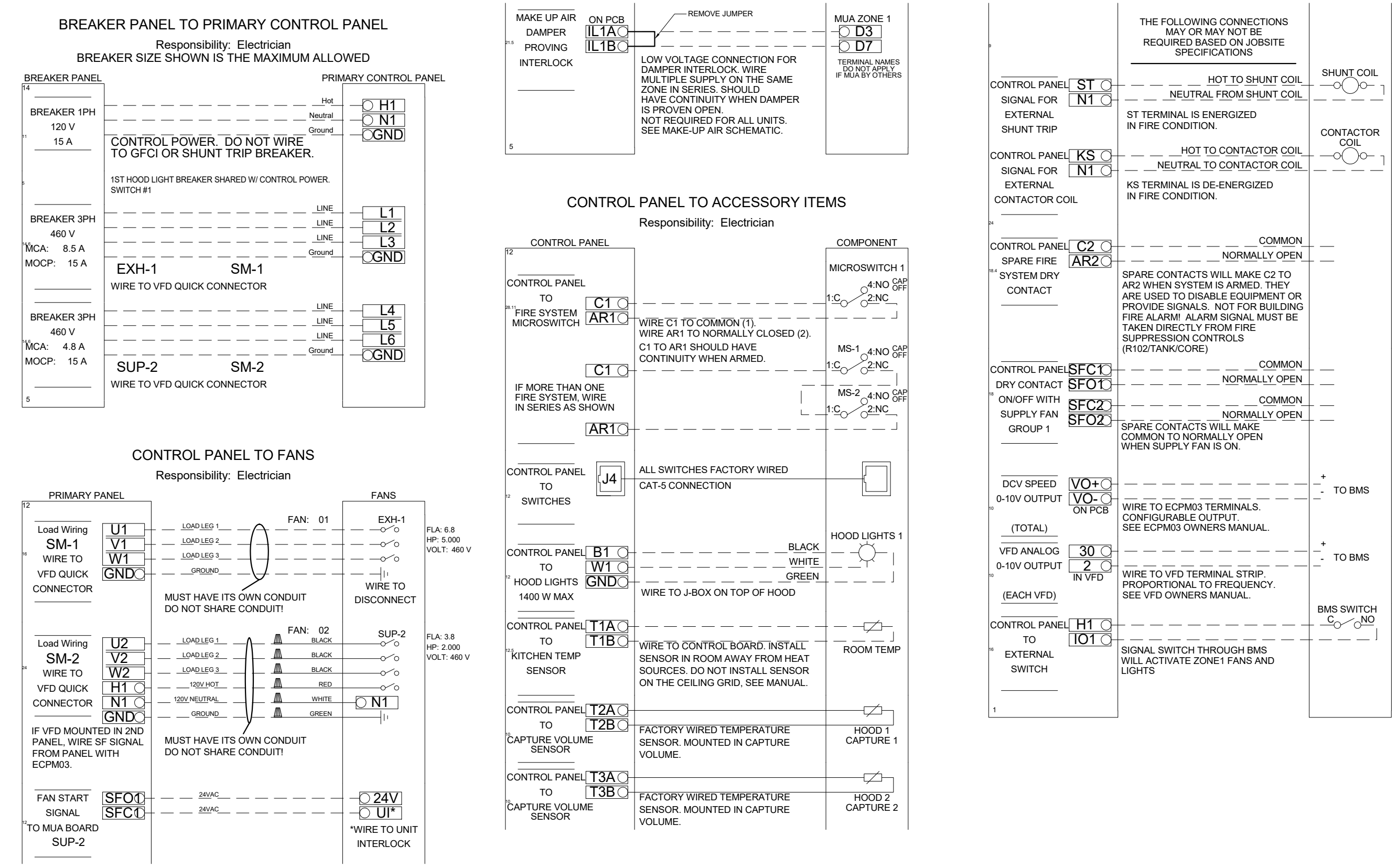
RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804)277-8987

Professional Seal of Kevin D. Allen, Lic. No. 023349, dated 04.24.2023.

PROJECT: **DINWIDDIE COUNTY PUBLIC SCHOOLS SOUTHSIDE ELEMENTARY SCHOOL RENOVATION**
DRAWING: **MECHANICAL DETAILS**

SHEET: **M-402**

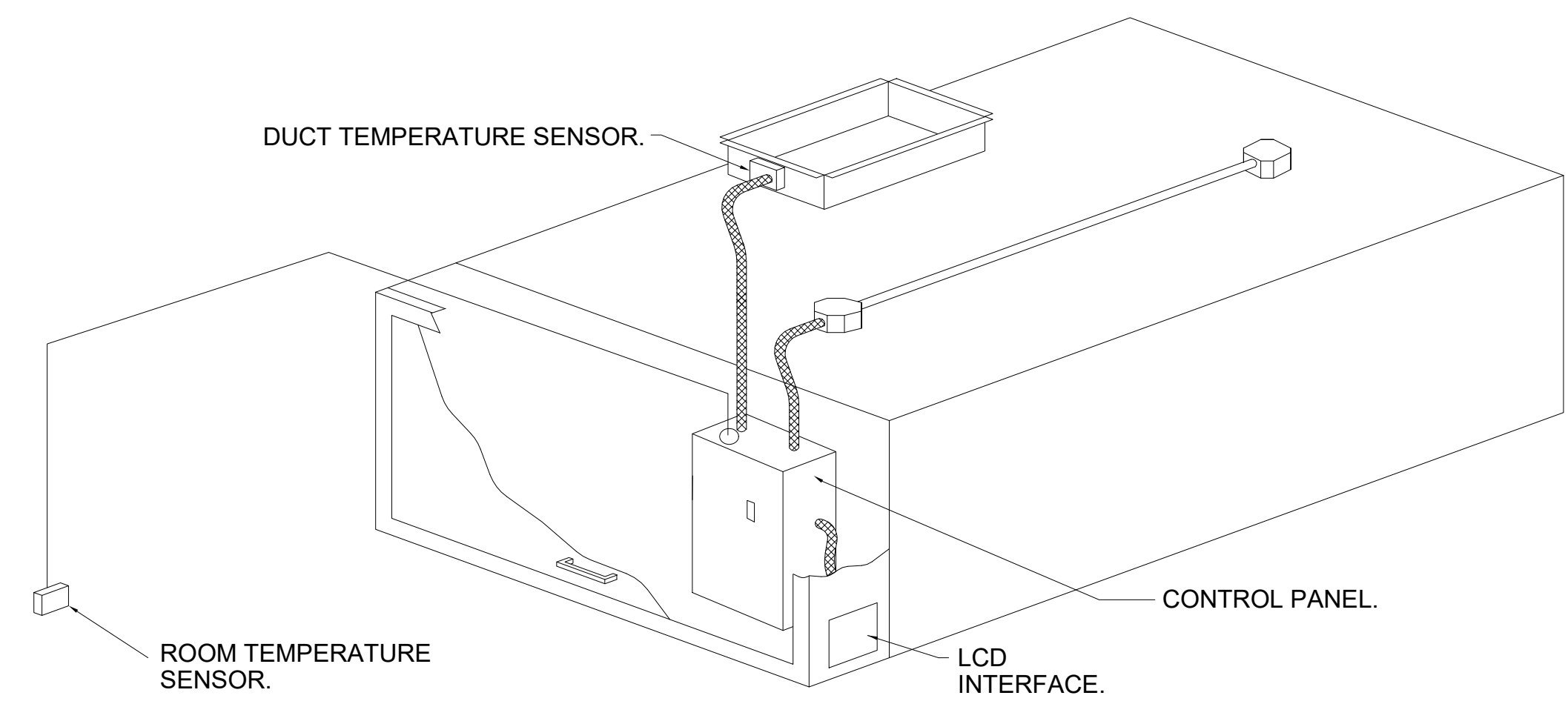
DESCRIPTION
BY
DATE
REVISIONS



CONTROL PANEL WIRING DIAGRAM

DEMAND CONTROL VENTILATION HOOD CONTROL PANEL SPECIFICATIONS:

- CONTROLS SHALL BE LISTED BY ETL (UL 508A) AND SHALL COMPLY WITH DEMAND VENTILATION SYSTEM TURNDOWN REQUIREMENTS OUTLINED IN IECC 403.2.8 (2015).
- THE CONTROL ENCLOSURE SHALL BE NEMA 1 RATED AND LISTED FOR INSTALLATION INSIDE OF THE EXHAUST HOOD UTILITY CABINET. THE CONTROL ENCLOSURE MAY BE CONSTRUCTED OF STAINLESS STEEL OR PAINTED STEEL.
- TEMPERATURE PROBE(S) LOCATED IN THE EXHAUST DUCT RISER(S) SHALL BE CONSTRUCTED OF STAINLESS STEEL.
- A DIGITAL CONTROLLER SHALL BE PROVIDED TO ACTIVATE THE HOOD EXHAUST FANS DYNAMICALLY BASED ON A FIXED DIFFERENTIAL BETWEEN THE AMBIENT AND DUCT TEMPERATURES SENSORS. THIS FUNCTION SHALL MEET THE REQUIREMENTS OF IMC 507.1.1.
- A DIGITAL CONTROLLER SHALL PROVIDE ADJUSTABLE HYSTERESIS SETTINGS TO PREVENT CYCLING OF THE FANS AFTER THE COOKING APPLIANCES HAVE BEEN TURNED OFF AND/OR THE HEAT IN THE EXHAUST SYSTEM IS REDUCED.
- A DIGITAL CONTROLLER SHALL PROVIDE AN ADJUSTABLE MINIMUM FAN RUN-TIME SETTING TO PREVENT FAN CYCLING.
- VARIABLE FREQUENCY DRIVES (VFDs) SHALL BE PROVIDED FOR FANS AS REQUIRED. THE DIGITAL CONTROLLER SHALL MODULATE THE VFDs BETWEEN A MINIMUM SETPOINT AND A MAXIMUM SETPOINT ON DEMAND. THE DUCT TEMPERATURE SENSOR INPUT(S) TO THE DIGITAL CONTROLLER SHALL BE USED TO CALCULATE THE SPEED REFERENCE SIGNAL.
- THE VFD SPEED RANGE OF OPERATION SHALL BE FROM 0% TO 100% FOR THE SYSTEM, WITH THE ACTUAL MINIMUM SPEED SET AS REQUIRED TO MEET MINIMUM VENTILATION REQUIREMENTS.
- AN INTERNAL ALGORITHM TO THE DIGITAL CONTROLLER SHALL MODULATE SUPPLY FAN VFD SPEED PROPORTIONAL TO ALL EXHAUST FANS THAT ARE LOCATED IN THE SAME FAN GROUP AS THE SUPPLY FAN.
- THE SYSTEM SHALL OPERATE IN PREP MODE DURING LIGHT COOKING LOAD OR COOL DOWN MODE WHEN SUFFICIENT HEAT REMAINS UNDERNEATH THE HOOD SYSTEM AFTER COOKING OPERATIONS HAVE COMPLETED. OPERATION DURING EITHER OF THESE PERIODS WILL DISABLE THE SUPPLY FANS AND PROVIDE AN EXHAUST FAN SPEED THAT IS EQUAL TO THE MINIMUM VENTILATION REQUIREMENT.
- A DIGITAL CONTROLLER SHALL DISABLE THE SUPPLY FAN(S), ACTIVATE THE EXHAUST FAN(S), ACTIVATE THE APPLIANCE SHUNT TRIP, AND DISABLE AN ELECTRIC GAS VALVE AUTOMATICALLY WHEN FIRE CONDITION IS DETECTED ON A COVERED HOOD.
- A DIGITAL CONTROLLER SHALL ALLOW FOR EXTERNAL BMS FAN CONTROL VIA DRY CONTACT (EXTERNAL CONTROL SHALL NOT OVERRIDE FAN OPERATION LOGIC AS REQUIRED BY CODE).
- AN LCD INTERFACE SHALL BE PROVIDED WITH THE FOLLOWING FEATURES:
 - ON/OFF PUSH BUTTON FAN & LIGHT SWITCH ACTIVATION.
 - INTEGRATED GAS VALVE RESET FOR ELECTRONIC GAS VALVES (NO RESET RELAY REQUIRED).
 - VFD FAULT DISPLAY WITH AUDIBLE & VISUAL ALARM NOTIFICATION.
 - DUCT TEMPERATURE SENSOR FAILURE DETECTION WITH AUDIBLE & VISUAL ALARM NOTIFICATION.
 - MIS-WIRED DUCT TEMPERATURE SENSOR DETECTION WITH AUDIBLE & VISUAL ALARM NOTIFICATION.
 - A SINGLE LOW VOLTAGE CAT-5 RJ45 WIRING CONNECTION.
 - AN ENERGY SAVINGS INDICATOR THAT UTILIZES MEASURED KWH FROM THE VFDs.



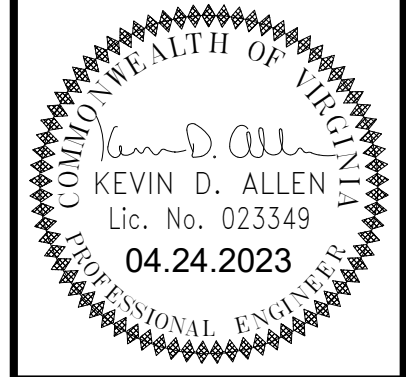
TYPICAL HOOD CONTROL PANEL INSTALLATION

SEQUENCE OF OPERATIONS:

- THE HOOD CONTROL PANEL SHALL BE CAPABLE OF OPERATING IN ONE OR MORE OF THE FOLLOWING STATES AT ANY GIVEN TIME:
- AUTOMATIC:** THE SYSTEM OPERATES BASED ON THE DIFFERENTIAL BETWEEN ROOM TEMPERATURE AND THE TEMPERATURE AT THE HOOD CAVITY OR EXHAUST DUCT COLLAR. FANS ACTIVATE AT A CONFIGURABLE TEMPERATURE DIFFERENTIAL THRESHOLD. DEPENDING ON THE JOB CONFIGURATION EACH FAN ZONE CAN BE CONFIGURED AS STATIC OR DYNAMIC. THESE TERMS REFER TO WHETHER A VARIABLE MOTOR (SUCH AS EC MOTORS OR VFD DRIVEN MOTORS) MODULATE WITH TEMPERATURE. IF THE PANEL IS EQUIPPED WITH VARIABLE SPEED FANS AND THE ZONE IS DEFINED AS "DYNAMIC", THESE WILL MODULATE WITHIN A USER-DEFINED RANGE BASED ON THE TEMPERATURE DIFFERENTIAL. PANELS EQUIPPED WITH VARIABLE SPEED FANS AND A FAN ZONE DEFINED AS "STATIC", FANS WILL RUN AT A SET SPEED CALCULATED FOR THE DRIVE. DEMAND CONTROL VENTILATION SYSTEMS ARE CAPABLE OF MODULATING EXHAUST AND MAKE UP AIR FAN SPEEDS PER THE REQUIREMENTS OUTLINED IN IECC 403.2.8.
 - MANUAL:** THE SYSTEM OPERATES BASED ON HUMAN INPUT FROM AN HMI.
 - SCHEDULE:** A WEEKLY SCHEDULE CAN BE SET TO RUN FANS FOR A SPECIFIED PERIOD THROUGHOUT THE DAY. THERE ARE THREE OCCUPIED TIMES PER DAY TO ALLOW FOR THE USER TO SET UP A TIME THAT IS SUITABLE TO THEIR NEEDS. ANY TIME THAT IS WITHIN THE DEFINED OCCUPIED TIME, THE SYSTEM WILL RUN AT MODULATION MODE AND FOLLOW THE FAN PROCEDURE ALGORITHM BASED ON TEMPERATURE DURING THIS TIME. DURING UNOCCUPIED TIME, THE SYSTEM WILL HAVE AN EXTRA OFFSET TO PREVENT UNINTENDED ACTIVATION OF THE SYSTEM DURING A TIME WHERE THE SYSTEM IS NOT BEING OCCUPIED.
 - OTHER:** THE SYSTEM OPERATES BASED ON THE INPUT FROM AN EXTERNAL SOURCE (DDC, BMS OR HARD-WIRED INTERLOCK).
 - FIRE:** UPON ACTIVATION OF THE HOOD FIRE SUPPRESSION SYSTEM, THE EXHAUST FAN WILL COME ON OR CONTINUE TO TO RUN, THE HOOD MAKEUP AIR WILL SHUTDOWN, AND A SIGNAL WILL BE SENT FOR ACTIVATING THE SHUNT TRIP BREAKER PROVIDED BY THE ELECTRICIAN. FUEL GAS WILL SHUT OFF VIA A MECHANICAL/ELECTRICAL GAS VALVE ACTUATED BY THE HOOD FIRE SUPPRESSION SYSTEM.

DATE	04/24/2023	PROJECT	21215-00	DESIGNED	RHC	DRAWN	JAR	CHECKED	
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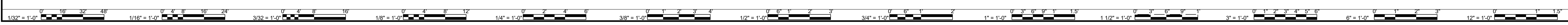
RRMM ARCHITECTS, PC
115 South 15th Street, Suite 202
Richmond, Virginia 23219
(804) 277-8987

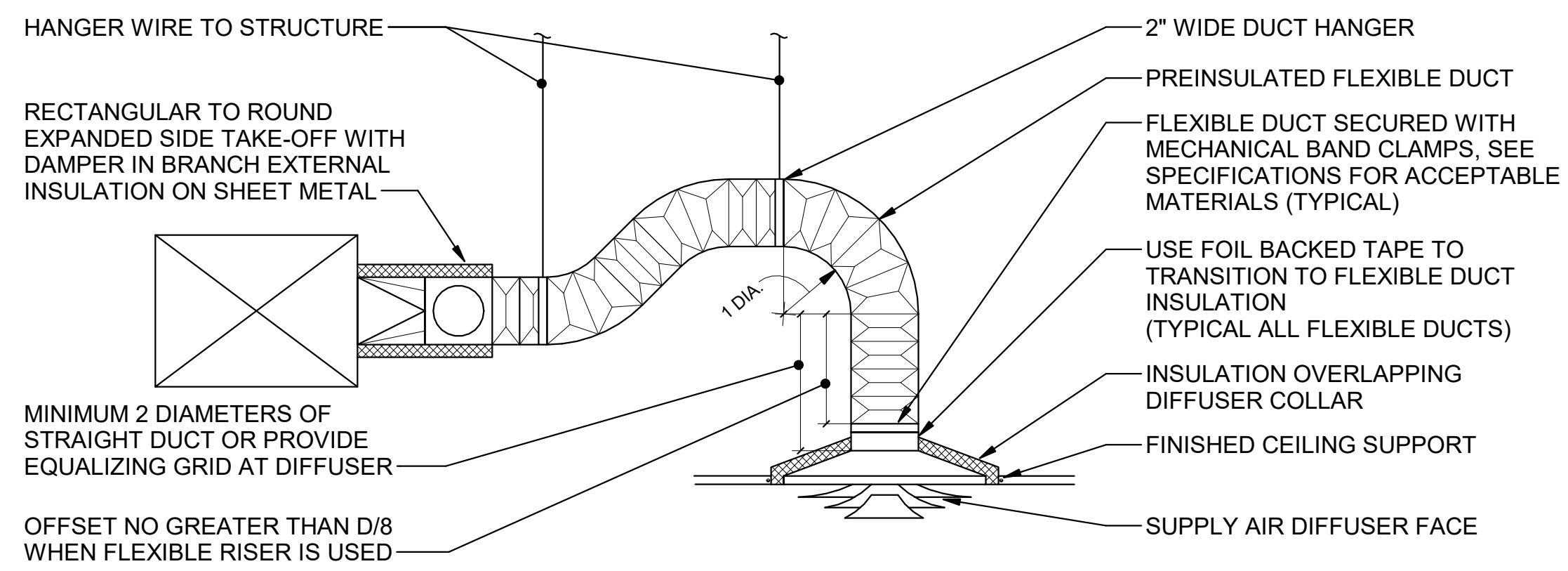


PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: MECHANICAL DETAILS

SHEET: M-403

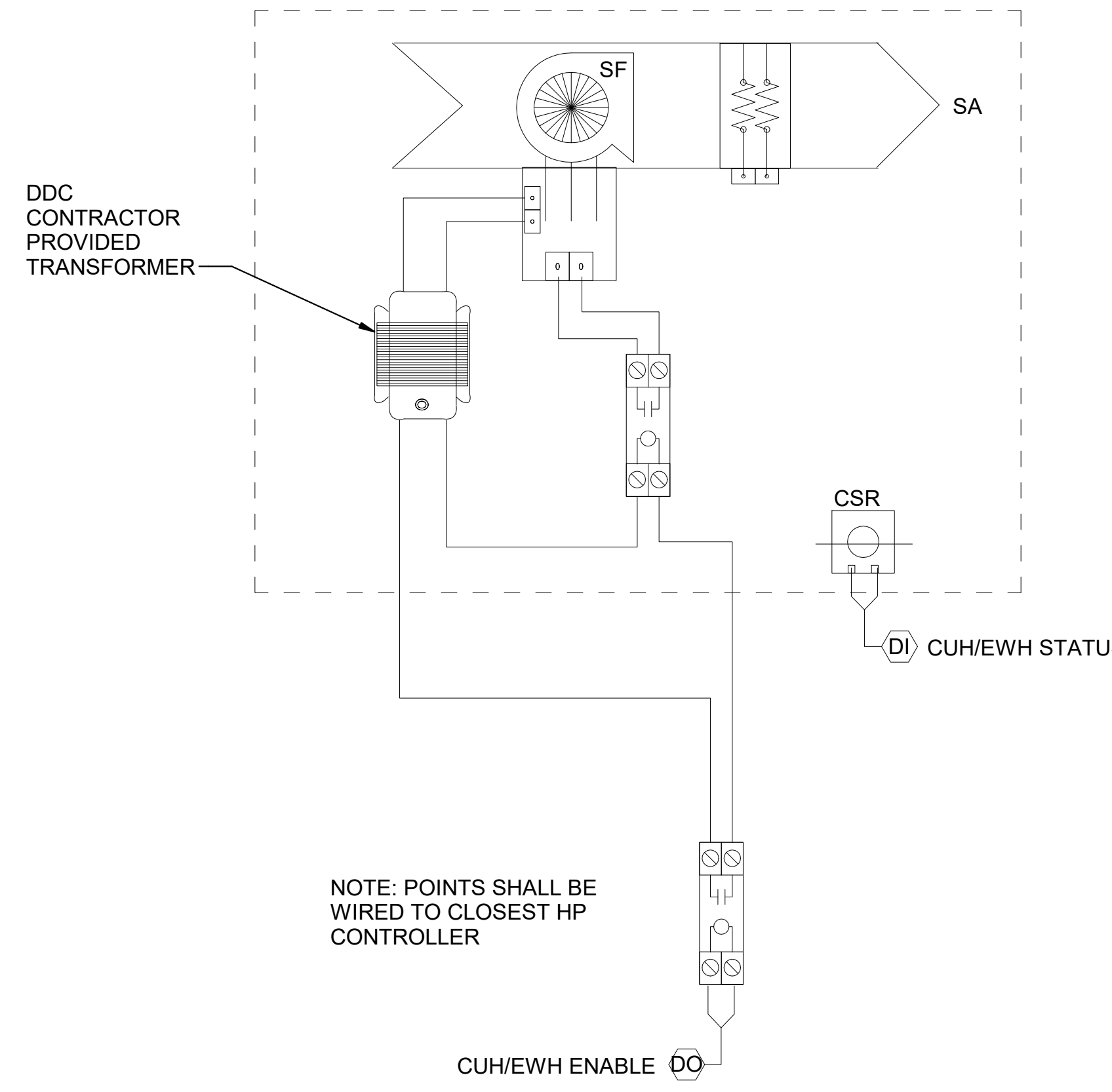




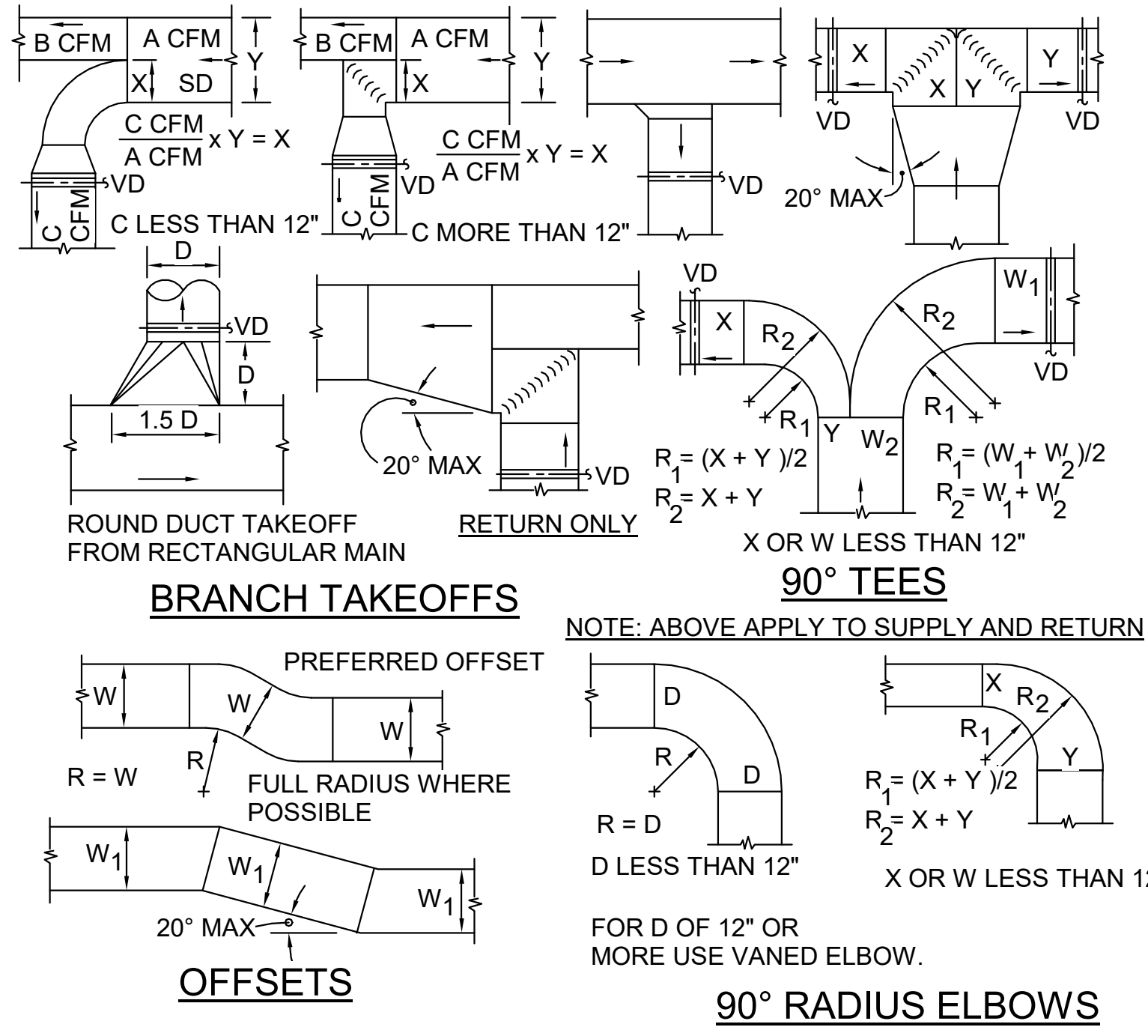
TYPICAL CEILING DIFFUSER INSTALLATION DETAIL
NOT TO SCALE

DUCTWORK CONSTRUCTION REQUIREMENTS			
SYSTEM	PRESSURE CLASS	SEAL CLASS	LEAKAGE CLASS
SUPPLY AIR	+ 1.5" W.G.	CLASS A	RECTANGULAR - 4 ROUND - 2
RETURN AIR	- 1.0" W.G.	CLASS B	RECTANGULAR - 8 ROUND - 4
EXHAUST AIR	- 1.0" W.G.	CLASS B	RECTANGULAR - 8 ROUND - 4
TRANSFER AIR	N/A	NOT REQUIRED	-

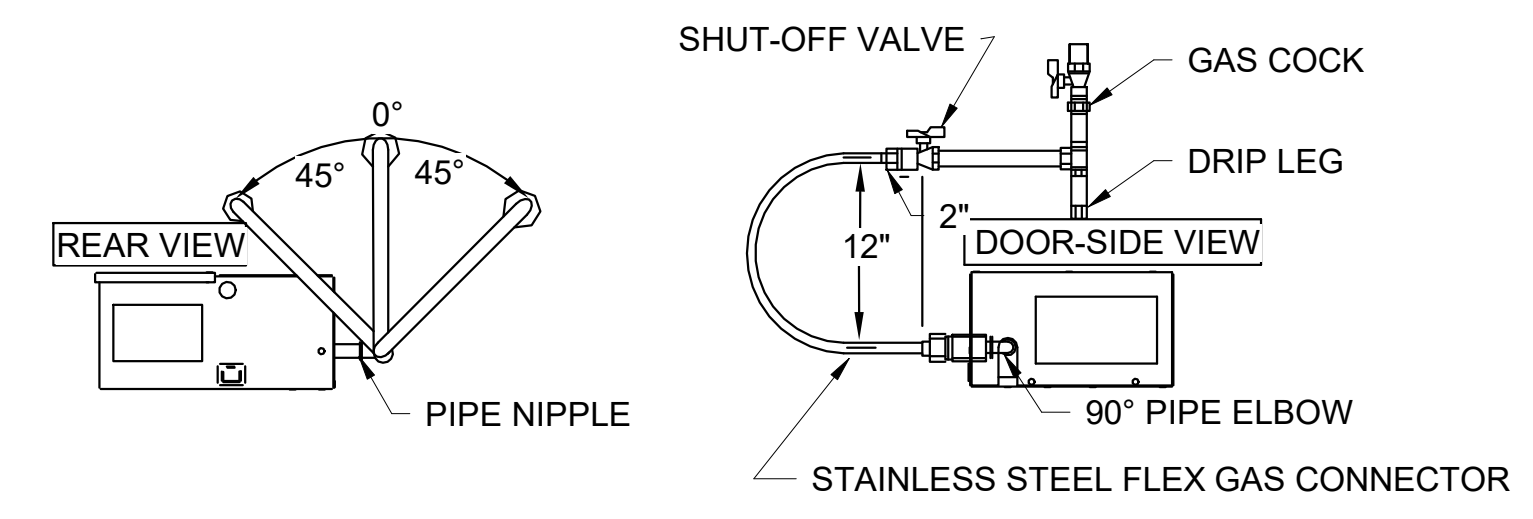
- NOTE:
- CONSTRUCT ALL DUCTWORK IN ACCORDANCE WITH "SMACNA" HVAC DUCT CONSTRUCTION STANDARDS
 - ALL MEDIUM PRESSURE DUCTWORK SHALL BE LEAK TESTED (DLT) AS SPECIFIED. PROVIDE VOLUME DAMPERS FOR EACH BRANCH DUCT SERVING SUPPLY, RETURN OR EXHAUST AIR TERMINAL.
 - ALL RECTANGULAR AND MITERED ELBOWS SHALL BE PROVIDED WITH TURNING VANES.
 - REFER TO SMACNA HVAC DUCT LEAKAGE MANUAL FIGURE 5-1 FOR LEAKAGE RATES.



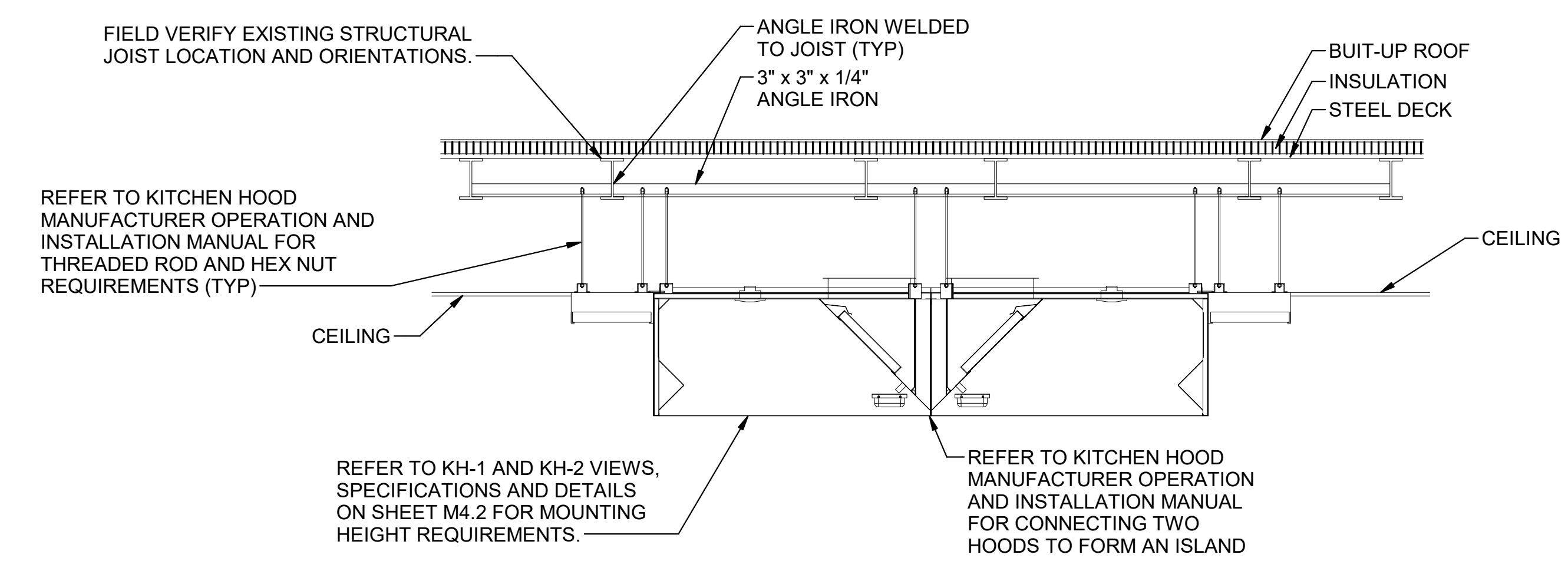
ELECTRIC WALL HEATER CONTROL DIAGRAM
NOT TO SCALE



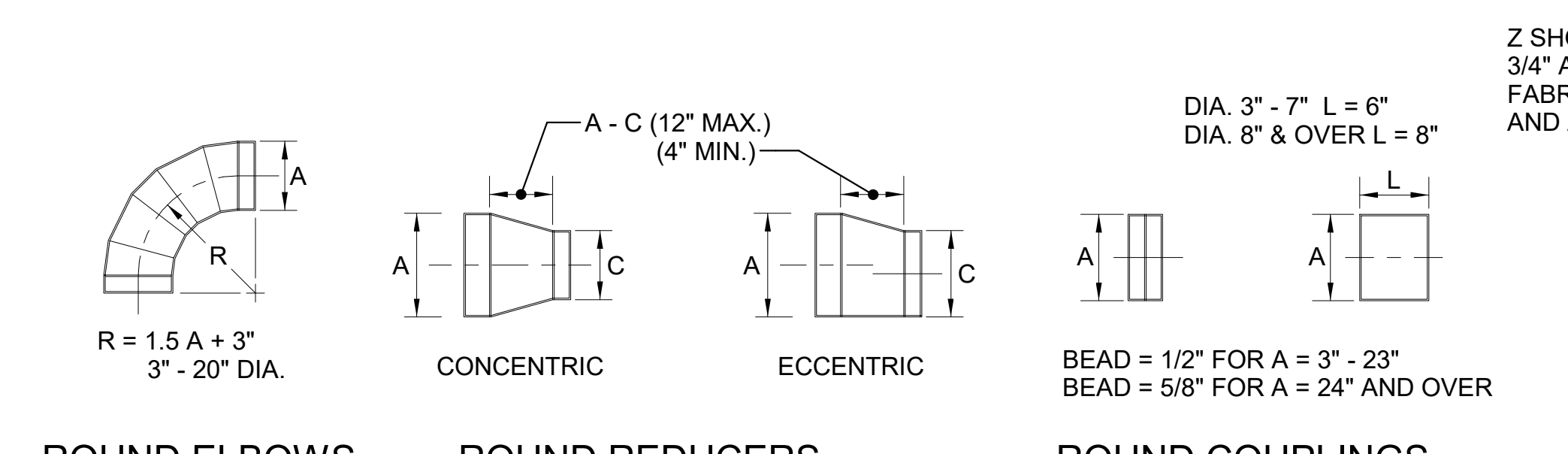
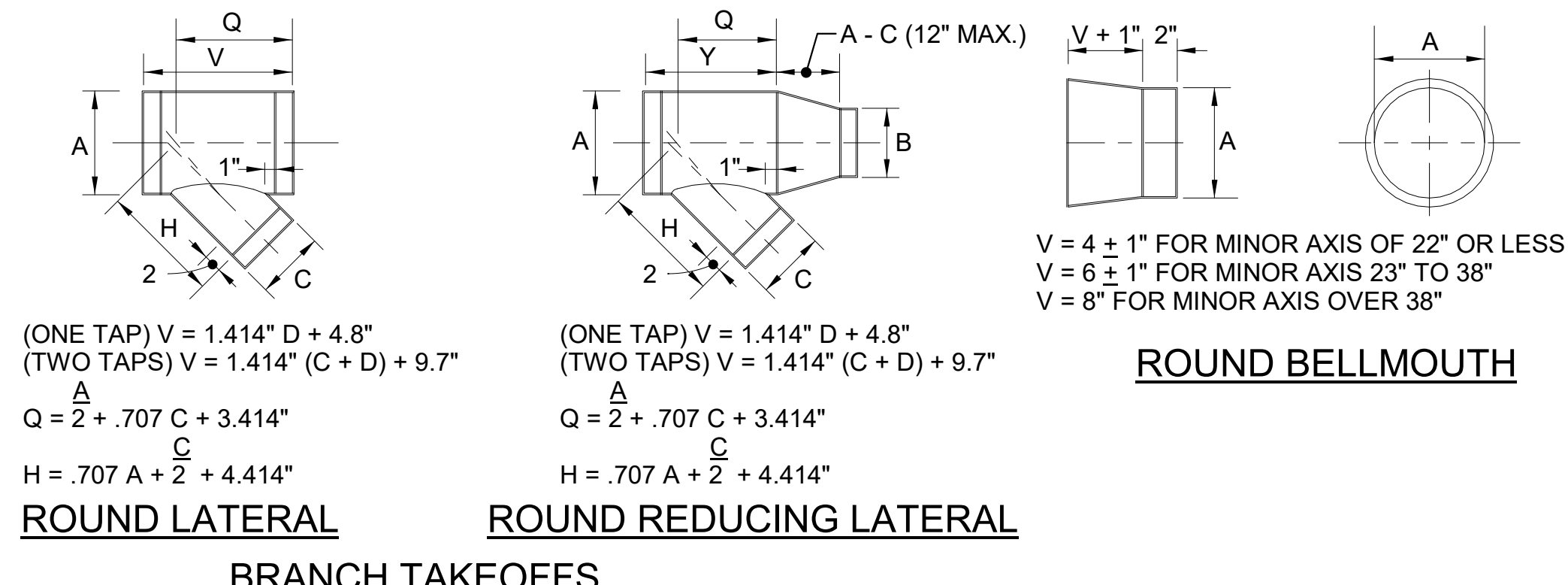
LOW VELOCITY SINGLE-WALL RECTANGULAR DUCTWORK DETAIL
NOT TO SCALE



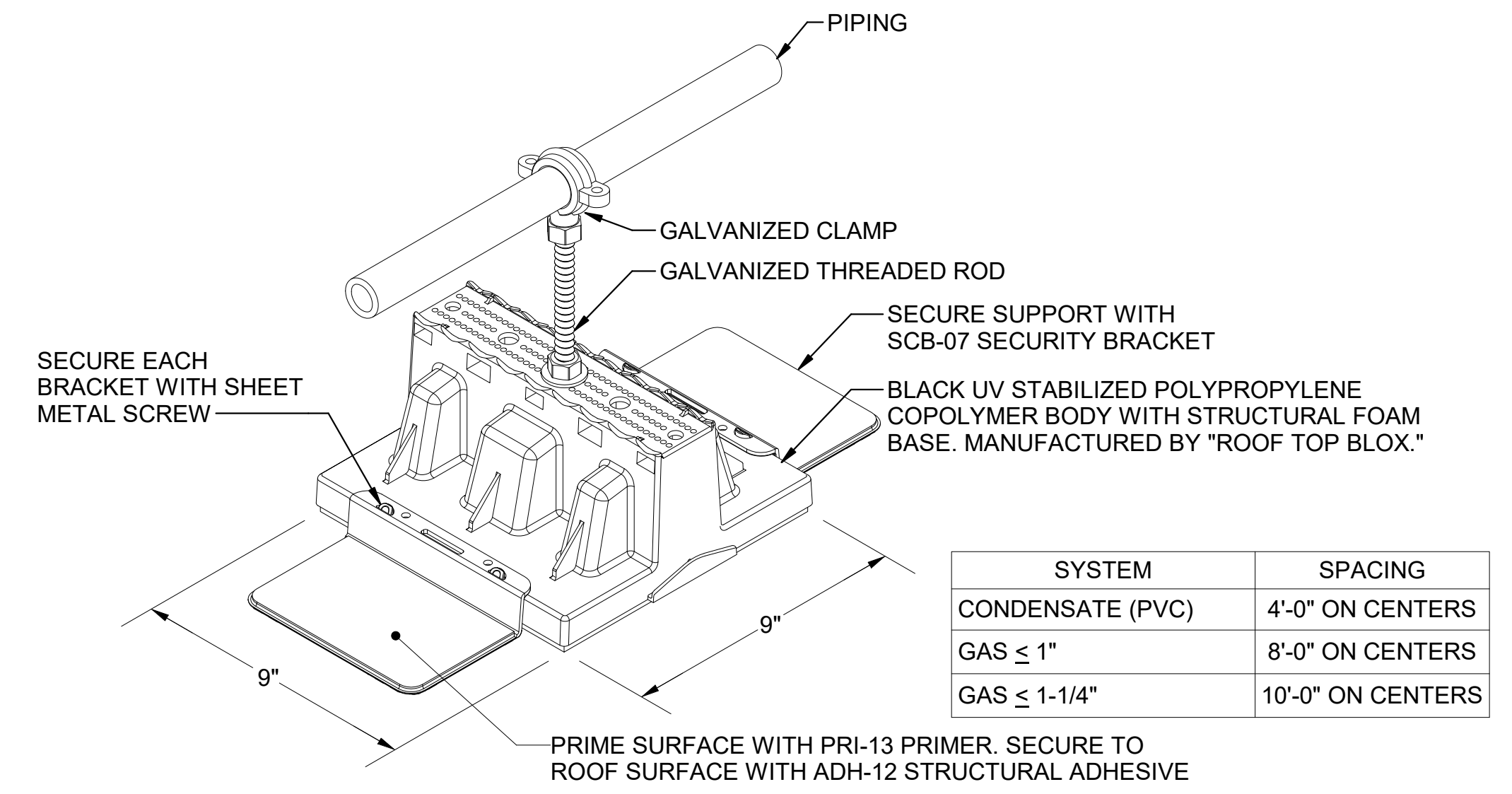
- A) INSTALL THE FLEX GAS CONNECTOR AS SHOWN. THE FLEX GAS CONNECTOR ACCOMMODATES EXPANSION OF THE HEATING SYSTEM AND ALLOWS FOR EASY INSTALLATION AND SERVICE OF THE BURNER.
- B) SHUT-OFF VALVE MUST BE PARALLEL TO BURNER INLET. THE 2" DISPLACEMENT SHOWN IS FOR THE COLD CONDITION. THIS DISPLACEMENT MAY REDUCE WHEN THE SYSTEM IS FIRED.
- GAS CONNECTION DIAGRAM**
NOT TO SCALE



KITCHEN HOOD INSTALLATION DETAIL
NOT TO SCALE



LOW VELOCITY SINGLE-WALL ROUND DUCTWORK FITTING DETAILS
NOT TO SCALE

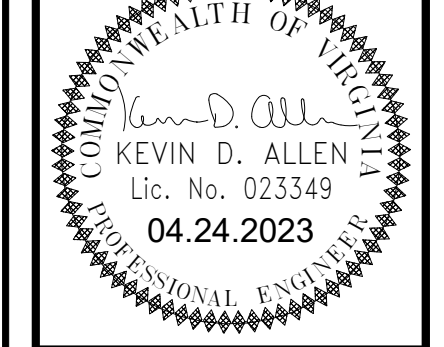


PROPANE GAS AND CONDENSATE PIPE SUPPORT DETAIL
NOT TO SCALE

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DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
MECHANICAL DETAILS
 PROJECT
 DRAWING
 SHEET

M-404

ELECTRICAL LEGEND:

LIGHTING:

- EXISTING 2' X 4' LIGHT FIXTURE
- EXISTING 2' X 2' LIGHT FIXTURE.
- EXISTING 1' X 4' LIGHT FIXTURE.
- EXISTING TRACK LIGHTS
- EXISTING 6" DOWNLIGHT.
- EXISTING WALL MOUNTED LIGHT FIXTURE, HEIGHT AS INDICATED.
- 2' X 4' LED LIGHT FIXTURE. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. LETTER SUBSCRIPT INDICATES LIGHT FIXTURE CONTROLLED BY CORRESPONDING LIGHT SWITCH.
- 2' X 4' LED NIGHT LIGHT FIXTURE WITH SELF CONTAINED EMERGENCY BATTERY PACK. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. CONNECT TO UNSWITCHED BRANCH CIRCUIT.
- 2' X 2' LED LIGHT FIXTURE. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE.
- 2' X 2' LED NIGHT LIGHT FIXTURE WITH SELF CONTAINED EMERGENCY BATTERY PACK. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. CONNECT TO UNSWITCHED BRANCH CIRCUIT.
- 1' X 4' LED LIGHT FIXTURE. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE.
- 1' X 4' LED NIGHT LIGHT FIXTURE WITH SELF CONTAINED EMERGENCY BATTERY PACK. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. CONNECT TO UNSWITCHED BRANCH CIRCUIT.
- NEW TRACK LIGHTS.
- CEILING MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROWS AS INDICATED. SHADED AREA INDICATES FACE-LIT. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. WITH SELF CONTAINED BATTERY PACK.
- WALL MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROWS AS INDICATED. SHADED AREA INDICATES FACE-LIT. NUMBER SUBSCRIPT INDICATES LIGHT FIXTURE TYPE. WITH SELF CONTAINED BATTERY PACK.
- SINGLE POLE SWITCH, 20A, 120/277V, AC. INSTALL +46" A.F.F., U.O.N.
- DUPLEX SINGLE POLE SWITCH, 20A, 120/277V, AC. INSTALL +46" A.F.F., U.O.N.
- 3 WAY SWITCH, 20A, 120/277V, AC. SUBSCRIPT DENOTES FIXTURE TO BE SWITCHED.
- 4 WAY SWITCH, 20A, 120/277V AC. SUBSCRIPT DENOTES FIXTURE TO BE SWITCHED.
- LED DIMMER SWITCH, 20A, 120/277V, AC.
- FOOTCANDLE INDICATOR.
- LINE VOLTAGE, CEILING MOUNTED OCCUPANCY SENSOR, SENSOR SWITCH CMR-PDT-10 OR EQUAL.
- LINE VOLTAGE DIMMING OCCUPANCY WALL SWITCH, SENSOR SWITCH WSX-PDT-D-SA-IV OR EQUAL.
- LINE VOLTAGE OCCUPANCY WALL SWITCH, SENSOR SWITCH WSD-PDT SA-I OR APPROVED EQUAL.

POWER:

- PANELBOARD, 208Y/120 VOLT.
- PANELBOARD, 480Y/240 VOLT.
- BRANCH CIRCUIT OR FEEDER WIRING IN CONDUIT. RUN CONCEALED ABOVE CEILING, IN WALL, BELOW FLOOR SLAB OR UNDERGROUND. NO TICK MARKS INDICATES 2 #12 CONDUCTORS & 1 #12 GND. IN CONDUIT, U.O.N. TICK MARKS, WHEN SHOWN, INDICATE NUMBER OF CONDUCTORS IF OTHER THAN THREE; (7) INDICATES GROUNDING CONDUCTOR. REFER TO PANELBOARD SCHEDULES FOR CONDUCTOR SIZES LARGER THAN #12.
- HOMERUNS TO PANEL. PANEL & CIRCUIT DESIGNATION AS INDICATED.
- DEMOLITION NOTE INDICATOR.
- NEW WORK NOTE INDICATOR.
- ROOM NUMBER INDICATOR.
- ELECTRICAL CONNECTION TO EQUIPMENT
- DISCONNECT SWITCH, 240V, U.O.N.: 2P=NUMBER OF POLES, 60=SWITCH RATING, NF=NONFUSED. PROVIDE IN NEMA 1 ENCLOSURE IF INSTALLED INDOORS.

FIRE ALARM SYSTEM:

- PROVIDE NEW EXTERIOR FIRE ALARM HORN. SEE "SURFACE MOUNTED EXTERIOR FIRE ALARM HORN DETAIL" ON DRAWING E-002 FOR ADDITIONAL INFORMATION.
- PROVIDE NEW FIRE ALARM PULL STATION IN WIREMOLD SURFACE NON-METALLIC BOX. SEE "SURFACE MOUNTED FIRE ALARM PULL STATION DETAIL" ON DRAWING E-002 FOR ADDITIONAL INFORMATION.
- PROVIDE NEW FIRE ALARM AUDIO/VISUAL DEVICE IN WIREMOLD SURFACE NON-METALLIC BOX. INSTALL ON WALL +80" A.F.F. TO THE BOTTOM OF THE LENS OR +96" TO THE TOP OF THE LENS, AUDIO/VISUAL DEVICE.
- PROVIDE NEW FIRE ALARM VISUAL ONLY DEVICE IN WIREMOLD SURFACE NON-METALLIC BOX. INSTALL ON WALL +80" A.F.F. TO THE BOTTOM OF THE LENS OR +96" TO THE TOP OF THE LENS.
- PROVIDE NEW CEILING MOUNTED FIRE ALARM VISUAL ONLY DEVICE.
- PROVIDE NEW CEILING MOUNTED FIRE ALARM AUDIO/VISUAL DEVICE.
- EXISTING FIRE ALARM SMOKE DETECTOR.
- EXISTING FIRE ALARM PULL STATION.
- EXISTING FIRE ALARM BELL.
- EXISTING FIRE ALARM CONTROL PANEL.

AUXILIARY SYSTEMS:

- EXISTING CCTV CAMERA
- EXISTING CEILING MOUNTED SPEAKER.

ABBREVIATIONS:

- A AMPERE
- AC ALTERNATING CURRENT
- A.F.F. ABOVE FINISHED FLOOR
- & AND
- CU COPPER
- GFI GROUND FAULT INTERRUPTER
- GND. GROUND
- KAIC KILO-AMPERE INTERRUPTING CAPACITY (SYMMETRICAL)
- KVA KILO-VOLT AMPERES
- LED LIGHT-EMITTING DIODE
- MLO MAIN LUGS ONLY
- MCB MAIN CIRCUIT BREAKER
- MTD MOUNTED
- NEMA NATIONAL ELECTRICAL MANUFACTURE ASSOCIATION
- N.E.C. NATIONAL ELECTRICAL CODE
- # OR NO. NUMBER
- P POLE
- PH OR Ø PHASE
- SPD SURGE PROTECTIVE DEVICE
- TYP. TYPICAL
- UL UNDERWRITERS LABORATORIES
- U.O.N. UNLESS OTHERWISE NOTED
- V VOLT
- W WIRE
- WH WATER HEATER
- XFMR TRANSFORMER
- Y WYE

GENERAL DEMOLITION NOTES:

1. PERFORM ALL REQUIRED DEMOLITION TO COMPLY WITH THE SCOPE AND INTENT OF THE PROJECT. REMOVE ALL WIRING ASSOCIATED WITH THE REQUIRED DEMOLITION BACK TO POINT OF ORIGIN OR LAST DEVICE TO REMAIN. CONTRACTOR SHALL FIELD VERIFY POINT OF ORIGIN AND INDICATE ON THE AS-BUILT DRAWINGS.
2. VERIFY ALL CIRCUITS SAVED DURING DEMOLITION FOR REUSE AS TO WIRE SIZE AND POINT OF ORIGIN.
3. EXERCISE CARE IN REMOVING MATERIAL AND EQUIPMENT DURING DEMOLITION. REPAIR ALL DAMAGE TO EXISTING SURFACES OR EXISTING EQUIPMENT TO REMAIN TO THE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE OWNER.
4. PROVIDE THE OWNER WITH FIRST RIGHT OF REFUSAL FOR ALL ELECTRICAL EQUIPMENT BEING REMOVED AS A PART OF THIS CONTRACT AND NOT SCHEDULED FOR REINSTALLATION. ALL ELECTRICAL EQUIPMENT NOT TURNED OVER TO THE OWNER SHALL BECOME THE PROPERTY OF THE ELECTRICAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
5. FLUORESCENT BALLASTS IN EXISTING LIGHT FIXTURES SCHEDULED TO BE REMOVED MAY CONTAIN PCB'S. REMOVE THE BALLASTS FROM THE LIGHT FIXTURES, PROPERLY CONTAIN AND DISPOSE OF SAME IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING SAME.
6. FLUORESCENT LAMPS IN EXISTING LIGHT FIXTURES SCHEDULED TO BE REMOVED MAY CONTAIN MERCURY. REMOVE THE LAMPS FROM THE LIGHT FIXTURES, PROPERLY CONTAIN AND DISPOSE OF SAME IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING SAME.
7. DURING THE REMOVAL OF EXISTING CEILINGS, SUPPORT ALL EXISTING AUXILIARY SYSTEMS CABLES (DATA, TELEPHONE, TELEVISION, ETC.) FROM STRUCTURE ABOVE EXISTING CEILING. ADJUST ROUTING OF THESE CABLES TO ACCOMMODATE THE INSTALLATION OF THE NEW CEILINGS. RE-VERIFY THE WORKING CONDITION OF THESE CABLES AND REPLACE ALL CABLES FOUND DEFECTIVE AFTER REINSTALLATION, WHICH WERE WORKING PRIOR TO REMOVAL WITH CABLES TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
8. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. REROUTE AND RECONNECT ALL CIRCUITS THAT IS REQUIRED TO REMAIN IN USE BUT INTERFERES WITH NEW CONSTRUCTION.
9. CONDUITS MAY BE ABANDONED IN WALLS AND BELOW FIRST FLOOR SLABS ONLY. REMOVE ALL WIRING FROM ABANDONED CONDUITS. DISCONNECT CONDUCTORS FROM ALL POWER SOURCES AND PROVIDE STAINLESS STEEL BLANK COVERPLATES ON ALL ABANDONED OUTLET BOXES.
10. PROVIDE NEW TYPED PANEL INDEX CARDS IN EXISTING PANELBOARDS WHERE CIRCUITS HAVE BEEN MODIFIED BY THIS PROJECT. PROVIDE COPIES OF MODIFIED PANEL INDEX CARDS ON AS BUILT DRAWINGS AND INCLUDED IN OPERATION AND MAINTENANCE MANUALS.
11. EXISTING CONDITIONS ILLUSTRATED HAVE BEEN DETERMINED FROM ORIGINAL CONSTRUCTION DOCUMENTS AND LIMITED NON-INVASIVE FIELD INVESTIGATION. CONTRACTOR SHALL INVESTIGATE FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK, COORDINATE AND MAKE ADJUSTMENTS AS NECESSARY.

FIRE ALARM SYSTEM NOTES:

1. THE EXISTING FIRE ALARM SYSTEM IS A "SIMPLEX 400T" ADDRESSABLE SYSTEM. PROVIDE PROGRAMMING REQUIRED TO REFLECT CHANGES. THE FIRE ALARM CONTROL PANEL IS LOCATED IN MAIN OFFICE.
2. A CERTIFIED SIMPLEX FIRE ALARM SYSTEM TECHNICIAN MUST PERFORM ALL MODIFICATIONS TO THE BUILDING FIRE ALARM SYSTEM. NO SUBSTITUTIONS TO ANY REQUIRED FIRE ALARM SYSTEM EQUIPMENT WILL BE CONSIDERED. THE CONTRACTOR SHALL COORDINATE ALL COMMUNICATIONS WITH SIMPLEX.
3. ALL AREAS IN THE BUILDING WILL BE IN USE. CONTRACTOR SHALL SCHEDULE WORK AT TIMES CONVENIENT TO THE OWNER.
4. AT NO TIME SHALL THE BUILDING BE WITHOUT AN ACTIVE FIRE ALARM SYSTEM. FIRE DEPARTMENT SHALL BE NOTIFIED WHEN THE FIRE ALARM SYSTEM IS OFF-LINE AND THE CONTRACTOR SHALL PROVIDE A FIRE WATCH AS REQUIRED BY THE LOCAL FIRE MARSHALL.
5. PROVIDE FIRE ALARM SYSTEM WIRING IN 3/4" CONDUIT. IF SPLICING BECOMES A NECESSITY, IT SHALL BE DONE IN AN APPROPRIATELY SIZED JUNCTION BOX. PAINT THE ENTIRE JUNCTION BOX RED.
6. PROVIDE CONDUCTORS (NUMBER, SIZE AND TYPE) IN ACCORDANCE WITH THE FIRE ALARM SYSTEM MANUFACTURERS RECOMMENDATION.

LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER'S CATALOG No.	VOLT	LUMENS	WATTAGE	MOUNTING	REMARKS
1	COOPER-24C22-60-UNV-L835-CD1-U	UNV	6056	46.3	RECESSED	②
2	COOPER-24C22-40-UNV-L835-CD1-U	UNV	4178	30.4	RECESSED	②
3	COOPER-24C22-40-UNV-L835-CD1-U	UNV	4178	30.4	RECESSED	①
4	COOPER-4WPLD4040C	277	4576	39	SURFACE	
5	METALUX 4SNX-45SL-LW	UNV	4132	29.8	PENDANT	
6	COOPER-22C22-39-UNV-L835-CD1	UNV	3900	28.5	RECESSED	②
7	CONTECH CTL9020-P	120	540	11	SURFACE	③
8	COOPER SLX7-R	UNV		1	CEILING/SURFACE	

LIGHT FIXTURE SCHEDULE NOTES:

- ① PROVIDE SHEET ROCK TRIM KIT DF-24W-U
- ② PROVIDE EL14W BATTERY PACK WHERE INDICATED.
- ③ PROVIDE 6 FIXTURE HEADS WITH SORAA PAR 20 LAMP, AND 3-4 FOOT TRACKS.

GENERAL NOTES:

1. WHERE INDIVIDUAL 120V HOMERUN CIRCUITS ARE SHOWN ON THE DRAWINGS THEY MAY BE COMBINED AS FOLLOWS:
 - NO MORE THAN THREE (3) PHASE CONDUCTOR PLUS THREE NEUTRALS AND ONE (1) GROUND PER CONDUIT, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE.
 - NO TWO OF THE SAME PHASE CONDUCTOR PER CONDUIT.
 - PROVIDE 120V CIRCUIT WITH INDIVIDUAL NEUTRALS PER CIRCUIT. NEUTRALS MAY NOT BE SHARED BETWEEN PHASES.
2. PAINT ALL EXPOSED CONDUIT TO MATCH THE SURFACE TO WHICH ATTACHED IF THE SURFACE IS PAINTED.
3. COORDINATE WITH PLUMBING CONTRACTOR AND DRAWINGS FOR EXACT LOCATION OF EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS INCLUDING EXACT POINT OF ELECTRICAL CONNECTION. MAKE ADJUSTMENTS TO CONDUIT ROUTING, PLACEMENT OF DISCONNECTS AND STARTERS AS REQUIRED.
4. PROTECT BRANCH CIRCUIT WIRING FROM PAINT OVERSPRAY DURING CONSTRUCTION TO PRESERVE COLOR-CODING. CONDUCTORS PAINTED SHALL BE COMPLETELY CLEANED OF PAINT BEFORE FINAL CONNECTIONS ARE MADE.
5. COORDINATE WIRING DEVICE OUTLET LOCATIONS WITH ARCHITECTURAL PLANS, ELECTRICAL PLANS, ENLARGED FLOOR PLANS, EQUIPMENT AND FURNITURE LAYOUTS, SECTIONS, ELEVATIONS, DETAILS AND JOB SITE DIFFERENCES PRIOR TO ROUGHING-IN CONDUITS. MAKE REQUIRED ADJUSTMENTS (WITH ARCHITECTS AND ENGINEERS APPROVAL).
6. INSTALL DEVICES SHOWN ON DRAWINGS IN ACCORDANCE WITH MOUNTING HEIGHTS SHOWN IN THE ELECTRICAL LEGEND AND/OR THE PROJECT SPECIFICATIONS. ALL MOUNTING HEIGHT DIMENSIONS ARE TO THE CENTER OF THE OUTLET BOX, UNLESS OTHERWISE NOTED.
7. WHERE THE TERM "BRANCH CIRCUITRY" IS USED ON THESE DRAWINGS, IT IS TO BE CONSTRUED TO MEAN CONDUIT AND CONDUCTORS.
8. FOR RECEPTACLE LOCATIONS WITHIN 6 FEET OF A LAVATORY, SINK, WATER CLOSET, SHOWER STALL, OR ANY WATER USING APPLIANCE, PROVIDE GROUND FAULT INTERRUPTING TYPE RECEPTACLES.
9. ALL CIRCUIT BREAKERS SERVING PERMANENTLY CONNECTED LOADS OVER 300 VOLT-AMPERES SHALL BE CAPABLE OF BEING LOCKED IN THE (OFF) POSITION.
10. PROVIDE ENGRAVED NAMEPLATE INDICATING CONDUCTOR COLOR CODING ON ALL NEW PANELBOARDS IN ACCORDANCE WITH NEC ARTICLE 210.5.
11. PROVIDE ENGRAVED NAMEPLATE INDICATING CONDUCTOR COLOR CODING ON NEW TRANSFORMER IN ACCORDANCE WITH NEC ARTICLE 200.6 (D).
12. PROVIDE PROGRAMMING TO ADJUST THE SET-POINTS FOR ALL LIGHTING CONTROL DEVICES. THE CONTRACTOR SHALL FIELD MEASURE THE LIGHTING LEVELS IN EACH SPACE, AT BOTH LEVELS CEILING AND WORK SPACE USING A FOOT-CANDLE METER BEFORE PROGRAMMING THE SET-POINTS. ALL FIELD TESTING AND PROGRAMMING SHALL BE PERFORMED BY A CERTIFIED LIGHTING MANUFACTURER'S TECHNICIAN.
13. PROVIDE NEW LIGHT SWITCHES FOR ALL SPACES INDICATED ON DRAWINGS E-101 AND E-102.
14. COORDINATE ALL WORK IN ACCORDANCE WITH PHASING PLAN ON SHEET LS-101.

DESCRIPTION	BY
MARK	DATE
REVISIONS	

DATE	04/24/2023
PROJECT	21215-00
DESIGNED	KGD
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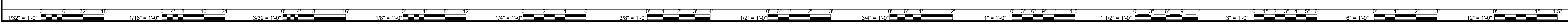
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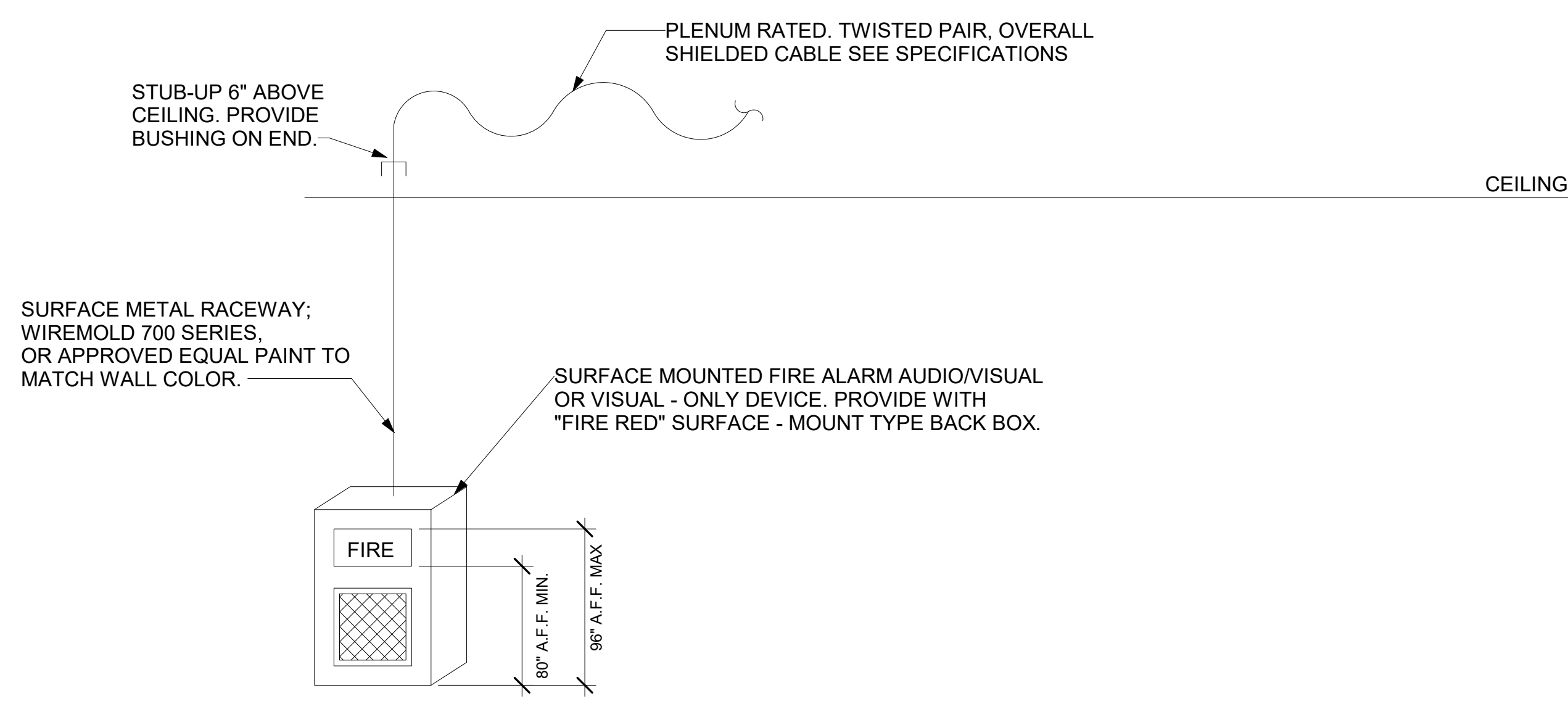
KENZIE CAMBAR
Lic. No. 049752
04.24.2023
PROFESSIONAL ENGINEER

PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23041

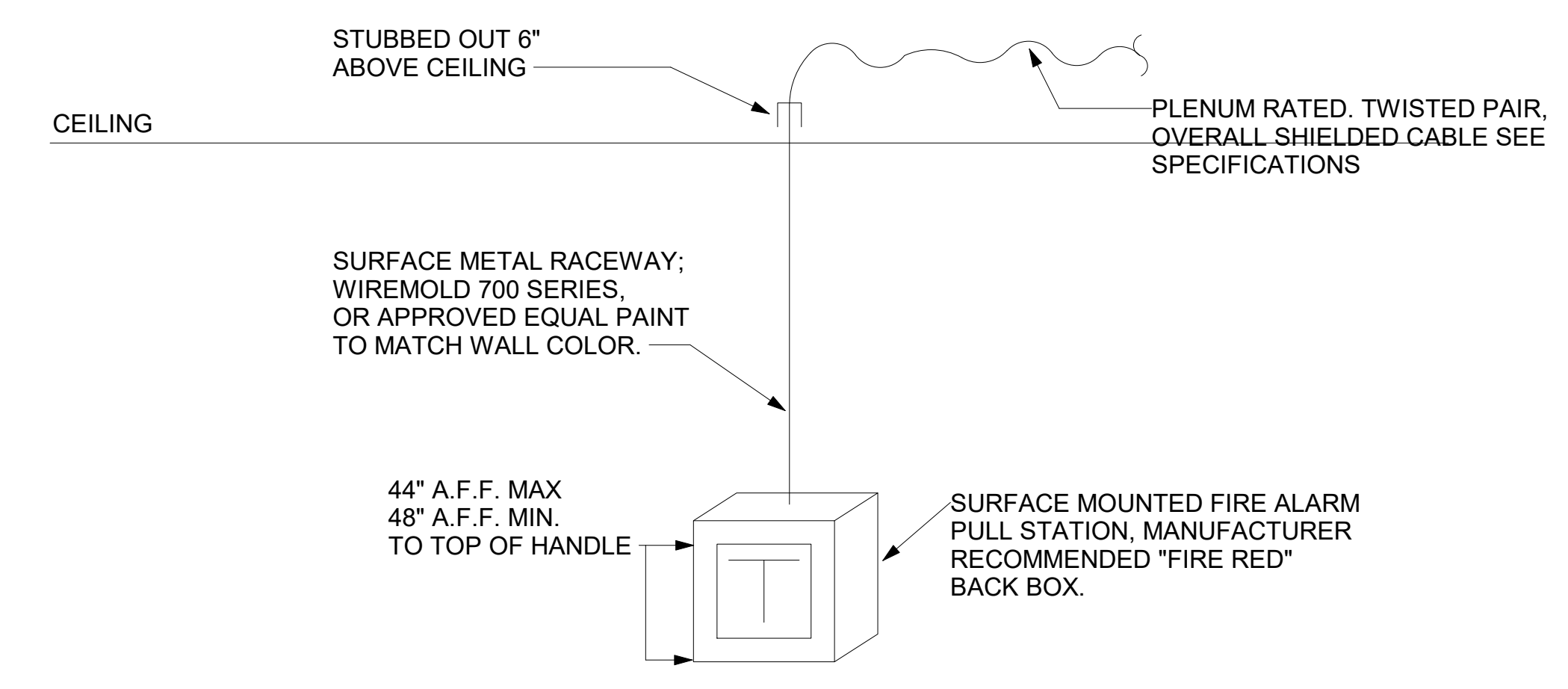
DRAWING: LEGEND, ABBREVIATIONS, AND NOTES

SHEET
E-001

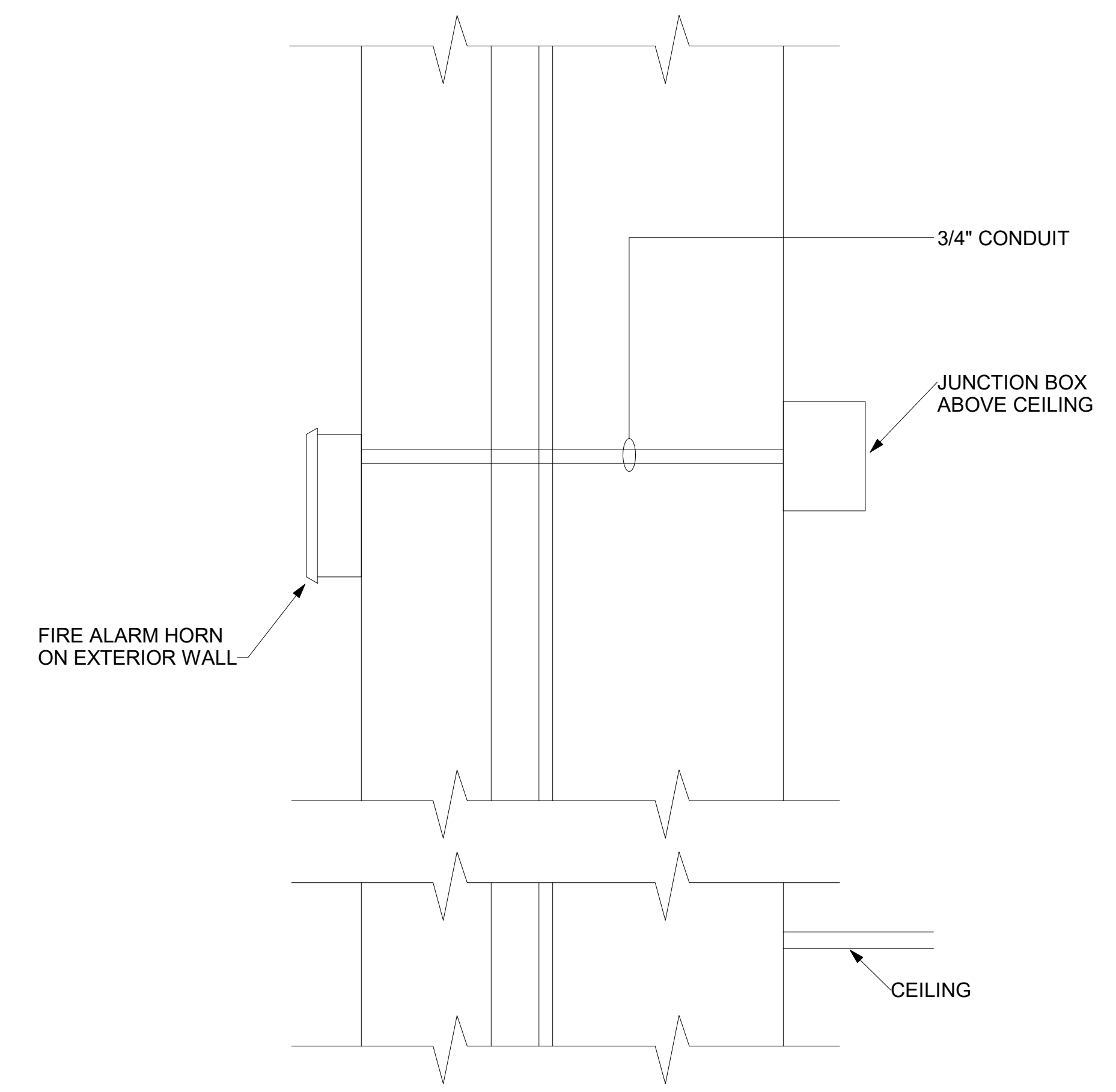




**SURFACE MOUNTED FIRE ALARM AUDIO/VISUAL,
OR VISUAL ONLY DEVICE MOUNTING DETAIL**
NOT TO SCALE



SURFACE MOUNTED FIRE ALARM PULL STATION MOUNTING DETAIL
NOT TO SCALE



SURFACE MOUNTED EXTERIOR FIRE ALARM HORN DETAIL
NOT TO SCALE

MARK	DATE	BY	DESCRIPTION

DATE	PROJECT	DESIGNED	DRAWN	CHECKED	AUTHOR	CHECKER
04/24/2023	21215-00	Designer				

Professional Certification: I certify that these documents were prepared or approved by me, and that on a daily basis I am licensed under the laws of the State of Maryland. License number:

DATE	PROJECT	DESIGNED	DRAWN	CHECKED	AUTHOR	CHECKER
04/24/2023	21215-00	Designer				

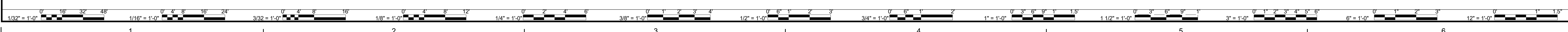
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ARCHITECTS, P.C.
1 Research Court, Suite 450
Rockville, Maryland 20850
(240)403-4101

NOT FOR CONSTRUCTION
05/25/2019
65% DD

PROJECT: **DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION**
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: **FIRE ALARM DETAIL**

SHEET: **E-002**



DESCRIPTION
BY
MARK DATE
REVISIONS

DATE	04/24/2023	DESIGNED	KGD
PROJECT	21215-00	DRAWN	CHECKED

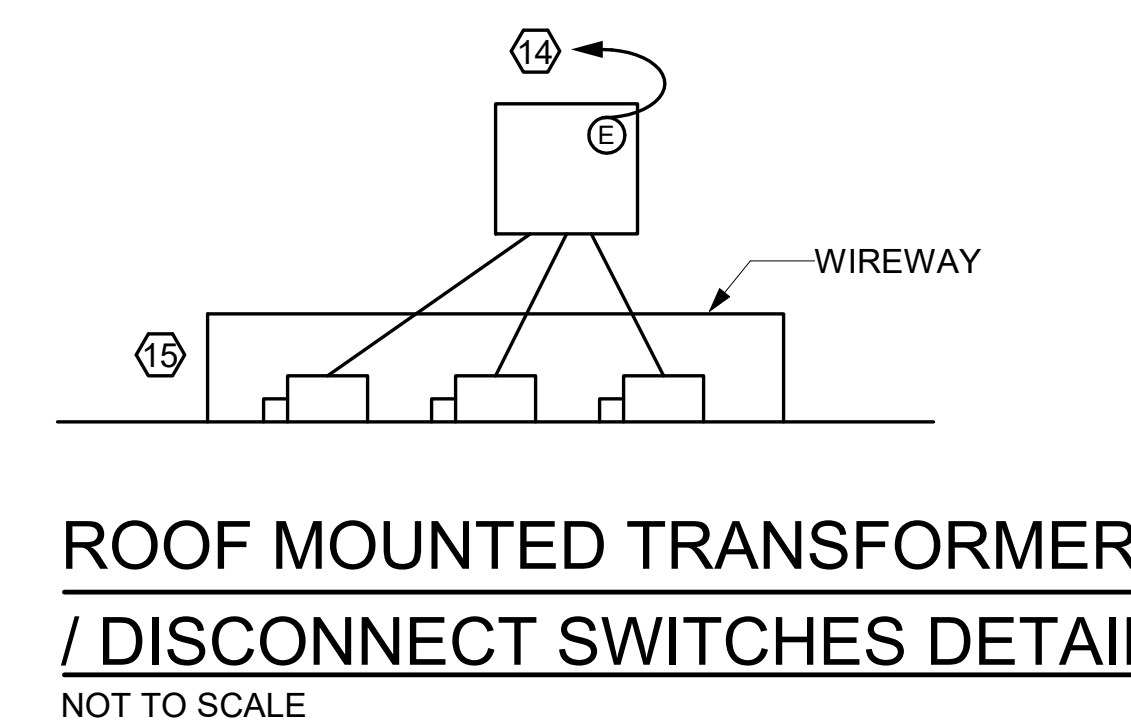
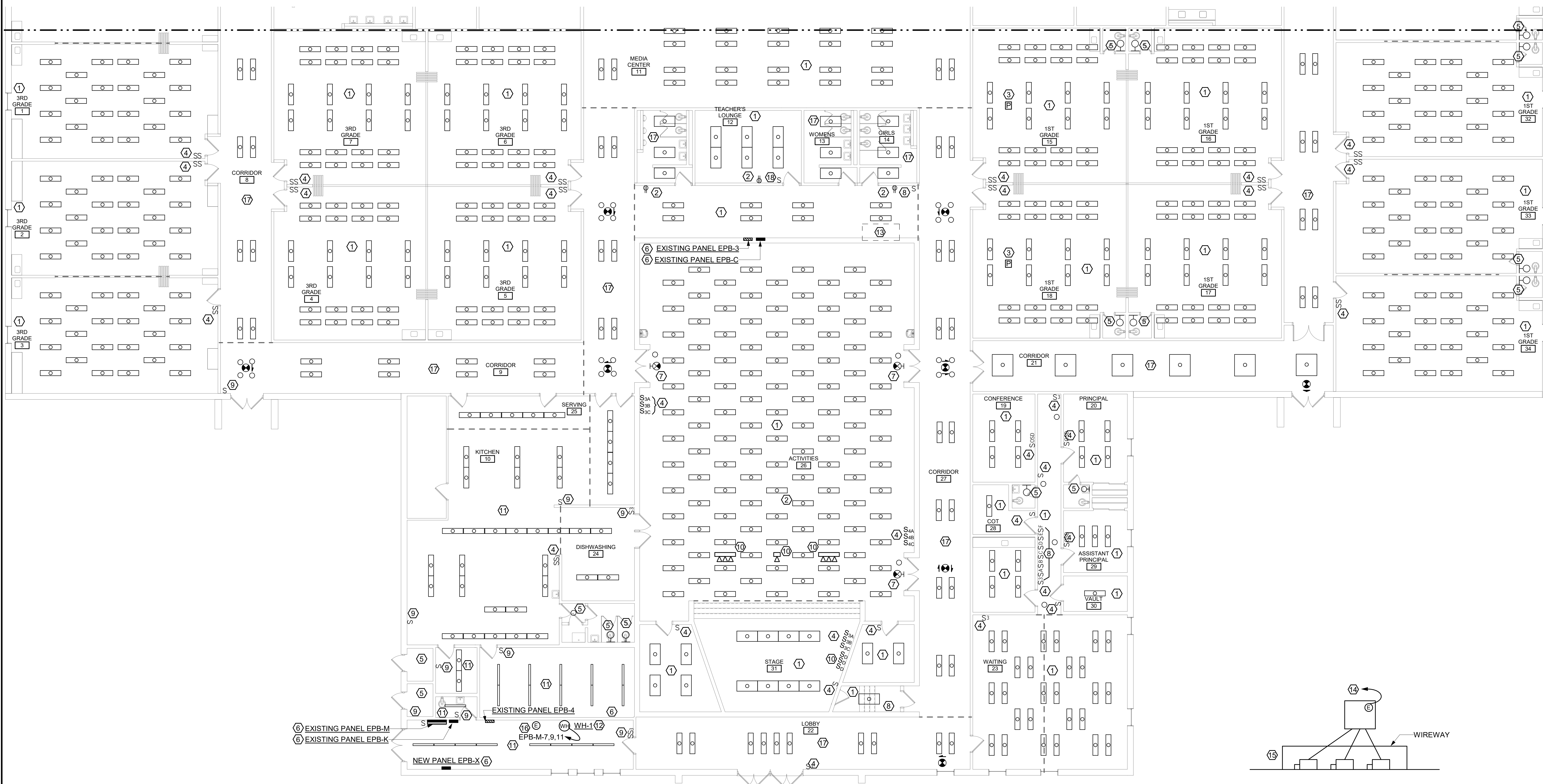
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SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR PLAN - AREA 'A' - LIGHTING, POWER, AND
AUXILIARY SYSTEMS - DEMOLITION

SHEET
ED-101

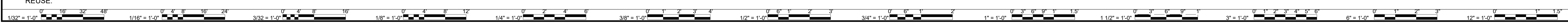


FIRST FLOOR PLAN - AREA 'A' - LIGHTING AND POWER - DEMOLITION

SCALE: 1/8" = 1'-0"

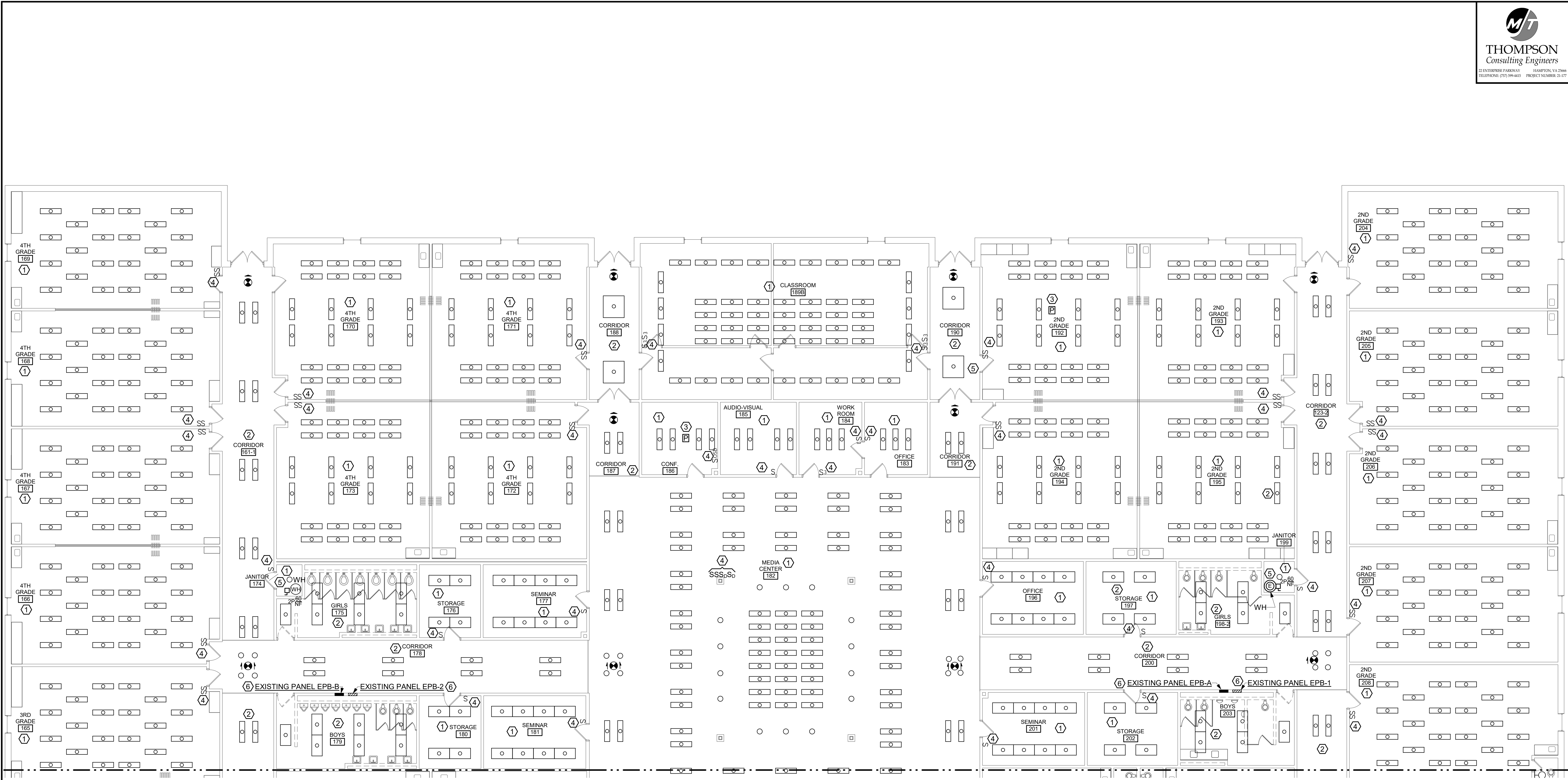
DEMOLITION NOTES:

- | | | |
|---|--|--|
| <p>① REMOVE ALL LIGHT FIXTURES. (U.O.N.) REMOVE ALL BRANCH CIRCUITRY BACK TO THE POINT OF ENTRY INTO SPACE. SAVE HOMERUN BRANCH CIRCUITRY FOR REUSE.</p> <p>② REMOVE RECEPTACLE AND BRANCH CIRCUITRY. MAINTAIN BRANCH CIRCUITRY TO UP STREAM AND DOWN STREAM DEVICES.</p> <p>③ REMOVE PROJECTOR FROM CEILING. SAVE PROJECTOR SUPPORTING EQUIPMENT, CABLING FOR REUSE.</p> <p>④ REMOVE LIGHT SWITCHES AND SWITCH LEG CONDUCTORS SAVE SWITCH LEG CONDUIT FOR REUSE</p> <p>⑤ EXISTING WALL MOUNTED LIGHT TO REMAIN.</p> <p>⑥ REMOVE PANELBOARD SEE DETAILS ON DRAWING E-203 FOR ADDITIONAL INFORMATION.</p> <p>⑦ REMOVE WALL MOUNTED EXIT LIGHT ABOVE DOUBLE DOOR AND SAVE BRANCH CIRCUITRY FOR REUSE.</p> | <p>⑧ REMOVE LIGHT SWITCH(ES). REMOVE CONDUCTORS. PROVIDE.</p> <p>⑨ REMOVE LIGHT SWITCH(ES). SAVE BRANCH CIRCUITRY FOR REUSE.</p> <p>⑩ REMOVE LIGHTS AND DIMMER SWITCHES. SAVE BRANCH CIRCUITRY FOR REUSE.</p> <p>⑪ REMOVE ALL LIGHT FIXTURES. SAVE BRANCH CIRCUITRY FOR REUSE.</p> <p>⑫ DISCONNECT ELECTRICAL CONNECTION TO WATER HEATER. SAVE HOMERUN BRANCH CIRCUITRY FOR REUSE.</p> <p>⑬ SEE "ROOF MOUNTED TRANSFORMER / DISCONNECT SWITCH DETAIL" ON THIS DRAWING FOR ADDITIONAL INFORMATION.</p> <p>⑭ DISCONNECT ELECTRICAL CONNECTION TO 45 KVA TRANSFORMER. REMOVE HOMERUN BRANCH CIRCUITRY TO BELOW ROOF. PROVIDE A JUNCTION BOX AND SAVE FOR REUSE.</p> | <p>(THIS DRAWING ONLY)</p> <p>⑮ REMOVE BRANCH CIRCUITRY FROM 45 KVA TRANSFORMER TO WIREWAY. REMOVE WIREWAY AND BRANCH CIRCUITRY FROM WIREWAY TO DISCONNECT SWITCHES. REMOVE PANEL FEEDER CONDUCTORS FROM DISCONNECT SWITCH TO BELOW THE ROOF. PROVIDE A JUNCTION BOX AND SAVE FOR REUSE.</p> <p>⑯ DISCONNECT ELECTRICAL CONNECTION TO WH-1 RECIRC PUMP. SAVE BRANCH CIRCUITRY FOR REUSE.</p> <p>⑰ REMOVE ALL LIGHT FIXTURES IN CORRIDORS AND TOILETS. REMOVE ALL BRANCH CIRCUITRY BACK TO POINT OF ORIGIN.</p> <p>⑱ REMOVE LIGHT SWITCH AND SWITCH LEG CONDUCTORS.</p> |
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FIRST FLOOR PLAN - AREA 'B' - LIGHTING AND POWER - DEMOLITION

SCALE: 1/8" = 1'-0"

- DEMOLITION NOTES:** (THIS DRAWING ONLY)
- ① REMOVE ALL LIGHT FIXTURES. REMOVE ALL BRANCH CIRCUITRY BACK TO THE POINT OF ENTRY INTO SPACE. SAVE HOMERUN BRANCH CIRCUITRY FOR REUSE.
 - ② REMOVE ALL LIGHT FIXTURES IN CORRIDORS AND TOILETS. REMOVE ALL BRANCH CIRCUITRY BACK TO POINT OF ORIGIN.
 - ③ REMOVE EXISTING PROJECTOR FROM CEILING. SAVE PROJECTOR, PROJECTOR SUPPORTS AND CABLING FOR REUSE.
 - ④ REMOVE LIGHT SWITCHES AND SWITCH LEG CONDUCTORS. SAVE SWITCH LEG CONDUIT FOR REUSE.
 - ⑤ DISCONNECT ELECTRICAL CONNECTION TO WATER HEATER. SAVE HOMERUN BRANCH CIRCUITRY FOR REUSE.
 - ⑥ REMOVE PANELBOARD. SEE DETAILS ON DRAWING E-203 FOR ADDITIONAL INFORMATION.

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COMMONWEALTH OF VIRGINIA
KENZIE CAMBAR
Lic. No. 049752
04.24.2023

PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

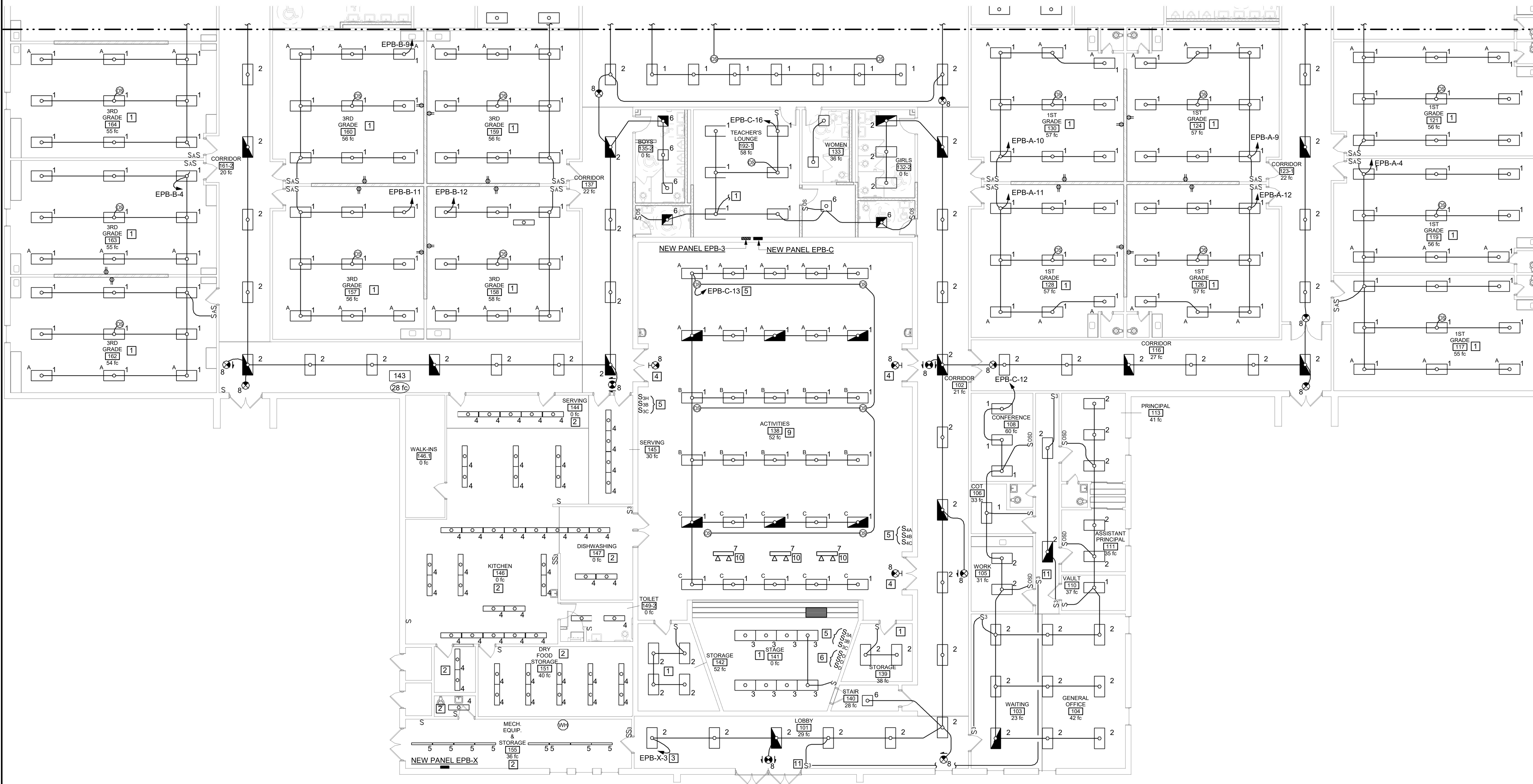
DRAWING: FIRST FLOOR PLAN - AREA 'B' - ELECTRICAL - DEMOLITION

SHEET: ED-102

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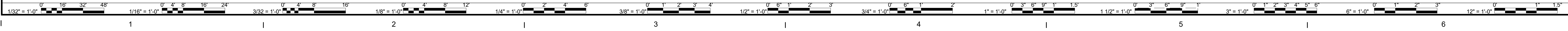
FIRST FLOOR PLAN - AREA 'A' - LIGHTING - NEW WORK [8]

SCALE: 1/8" = 1'-0"

NEW WORK NOTES:

- | | |
|---|--|
| <p>1 REUSE AND EXTEND EXISTING HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION AND CONNECT TO NEW OCCUPANCY SENSORS, NEW LIGHT SWITCH(ES), AND NEW LIGHT FIXTURES.</p> <p>2 CONNECT ALL NEW LIGHT FIXTURES AND NEW LIGHT SWITCH(ES) TO EXISTING BRANCH CIRCUITRY SAVED DURING DEMOLITION.</p> <p>3 TERMINATE HOMERUN IN NEW PANEL "EPB-X" AS INDICATED.</p> <p>4 INSTALL NEW WALL MOUNTED EXIT LIGHT ON EXISTING BRANCH CIRCUIT SAVED DURING DEMOLITION.</p> <p>5 INSTALL HOMERUN BRANCH CIRCUITRY THROUGH NEW 3-WAY AND 4-WAY LIGHT SWITCHES.</p> <p>6 PROVIDE THREE NEW LED DIMMER SWITCHES AND BRANCH CIRCUITRY AND CONFECT TO NEW TRACK LIGHTING SYSTEM.</p> | <p>7 SEE PARTIAL RISER DIAGRAM ON DRAWING E-203 FOR ADDITIONAL INFORMATION.</p> <p>8 SEE DRAWING E-102 FOR LOCATION OF PANEL "EPB-A" AND PANEL "EPB-B".</p> <p>9 INTERLOCK ALL OCCUPANCY SENSORS IN THE ACTIVITIES SPACE SUCH THAT WHEN ANY OCCUPANCY SENSOR IS ACTIVATED, IT WILL ENERGIZE POWER TO THE LIGHT SWITCHES IN THE ACTIVITIES SPACE.</p> <p>10 CONNECT NEW TRACK LIGHTING SYSTEM TO EXISTING BRANCH CIRCUITRY SAVED DURING DEMOTION AND NEW DIMMER SWITCHES.</p> <p>11 INSTALL NEW THREE-WAY LIGHT SWITCHES IN EXISTING OUTLET BOXES AND CONNECT TO NEW LIGHTS AS INDICATED.</p> |
|---|--|

(THIS DRAWING ONLY)



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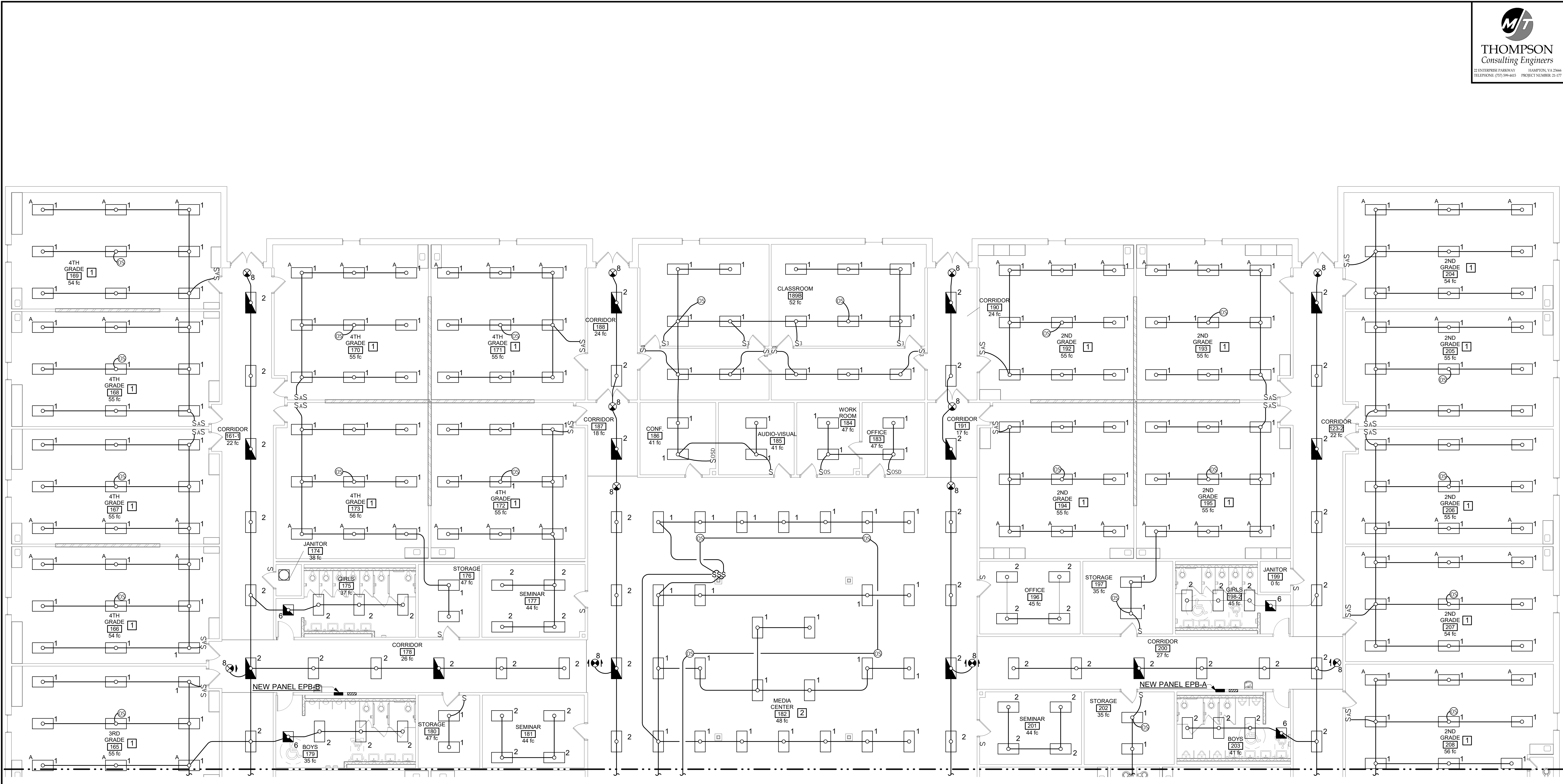
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DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
FIRST FLOOR PLAN - AREA 'A' - LIGHTING - NEW WORK
 PROJECT DRAWING SHEET

E-101

DESCRIPTION	
BY	
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REVISIONS	



FIRST FLOOR PLAN - AREA 'B' - LIGHTING - NEW WORK
 SCALE: 1/8" = 1'-0"

- NEW WORK NOTES:** (THIS DRAWING ONLY)
- REUSE AND EXTEND EXISTING HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION AND CONNECT TO NEW OCCUPANCY SENSORS, NEW LIGHT SWITCHES, AND NEW LIGHT FIXTURES.
 - INTERLOCK ALL OCCUPANCY SENSORS IN THE MEDIA CENTER SUCH THAT WHEN ANY OCCUPANCY SENSOR IS ACTIVATED, IT WILL ENERGIZE POWER TO THE NEW LIGHT SWITCHES IN THE MEDIA CENTER.

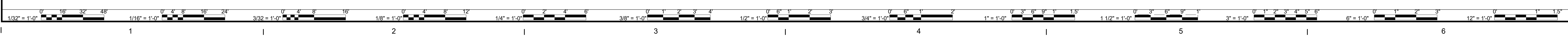
DATE	04/24/2023	DESIGNED	KGD
PROJECT	21215-00	DRAWN	CHECKED

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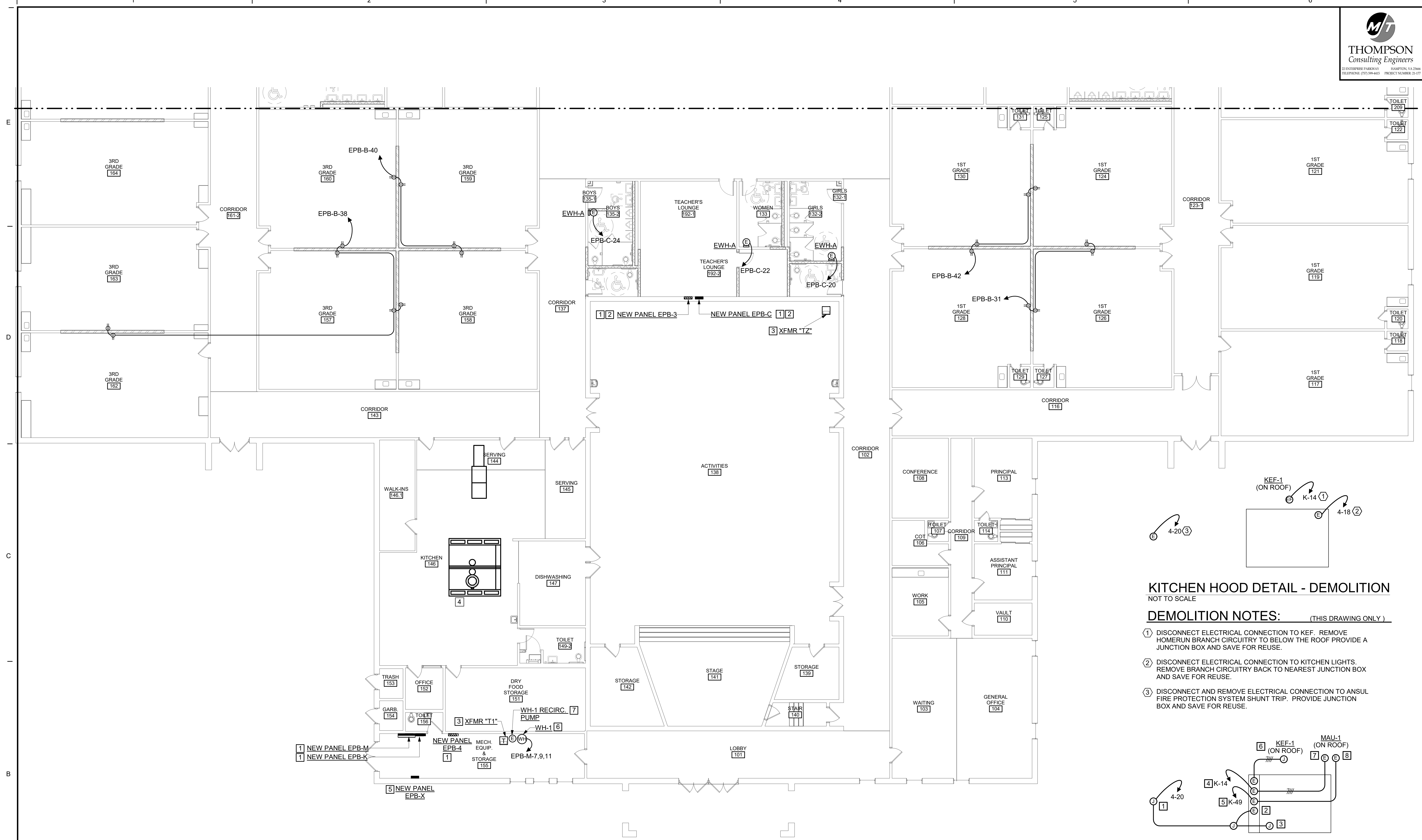


PROJECT: **DINWIDDIE COUNTY PUBLIC SCHOOLS**
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: **FIRST FLOOR PLAN - AREA 'B' - LIGHTING - NEW WORK**



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FIRST FLOOR PLAN - AREA 'A' - POWER - NEW WORK
 SCALE: 1/8" = 1'-0"

- NEW WORK NOTES:** (THIS DRAWING ONLY)
- 1] PROVIDE NEW PANELBOARD IN ACCORDANCE WITH PANELBOARD SCHEDULES ON DRAWING E-501 AND SPECIFICATION SECTION 262416. PROVIDE ALL HARDWARE AND EQUIPMENT NECESSARY TO EXTEND ALL EXISTING BRANCH CIRCUITRY AND FEEDER CONDUCTORS SAVED DURING DEMOLITION TO NEW PANELBOARD.
 - 2] SEE "FLUSH MOUNTED PANELBOARD REPLACEMENT DETAIL" ON DRAWING E-203 FOR ADDITIONAL INFORMATION.
 - 3] SEE PARTIAL RISER DIAGRAM ON DRAWING E-203 FOR ADDITIONAL INFORMATION.
 - 4] SEE KITCHEN HOOD DETAILS ON THIS DRAWING FOR ADDITIONAL INFORMATION.
 - 5] PROVIDE NEW PANELBOARD IN ACCORDANCE WITH PARTIAL RISER DIAGRAM ON DRAWING E-203.
 - 6] REUSE AND EXTEND HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION WITH 3 #2/0, 1 #2 GND IN 2" CONDUIT AND CONNECT TO NEW WATER HEATER.
 - 7] REUSE AND EXTEND EXISTING BRANCH CIRCUITRY SAVED DURING DEMOLITION AND CONNECT TO NEW WH-1 RECIP. PUMP.

KITCHEN HOOD DETAIL - DEMOLITION
 NOT TO SCALE

DEMOLITION NOTES: (THIS DRAWING ONLY)

- 1] DISCONNECT ELECTRICAL CONNECTION TO KEF. REMOVE HOMERUN BRANCH CIRCUITRY TO BELOW THE ROOF PROVIDE A JUNCTION BOX AND SAVE FOR REUSE.
- 2] DISCONNECT ELECTRICAL CONNECTION TO KITCHEN LIGHTS. REMOVE BRANCH CIRCUITRY BACK TO NEAREST JUNCTION BOX AND SAVE FOR REUSE.
- 3] DISCONNECT AND REMOVE ELECTRICAL CONNECTION TO ANSUL FIRE PROTECTION SYSTEM SHUNT TRIP. PROVIDE JUNCTION BOX AND SAVE FOR REUSE.

KITCHEN HOOD DETAIL - NEW WORK
 NOT TO SCALE

NEW WORK NOTES: (THIS DRAWING ONLY)

- 1] EXTEND HOMERUN BRANCH CIRCUITRY AND SHUNT TRIP CIRCUITRY SAVED DURING DEMOLITION TO NEW KITCHEN HOOD.
- 2] EXTEND HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION TO NEW KITCHEN HOOD CONTROL AND SHUNT TRIP TERMINATION AS DIRECTED BY HOOD MANUFACTURE.
- 3] EXTEND BRANCH CIRCUITRY SAVED DURING DEMOLITION TO KITCHEN HOOD LIGHTINGS AS DIRECTED BY HOOD MANUFACTURE.
- 4] EXTEND BRANCH CIRCUITRY SAVED DURING DEMOLITION TO KITCHEN HOOD KEF-1 LINE SIDE CONNECTION AS DIRECTED BY HOOD MANUFACTURE.
- 5] PROVIDE 3 #12, 1 #12 GND IN 1/2" CONDUIT TO KITCHEN HOOD MAU-1 CONNECTION AS DIRECTED BY HOOD MANUFACTURE.
- 6] PROVIDE 3 #12, 1 #12 IN 1/2" CONDUIT FROM KEF-1 LOAD SIDE CONNECTION IN HOOD CONTROL CABINET TO KEF-1 (ON ROOF) AS DIRECTED BY HOOD MANUFACTURE.
- 7] PROVIDE 3 #12, 1 #12 GND IN 1/2" CONDUIT FROM MAU-1 LOAD SIDE CONNECTION IN HOOD CONTROL CABINET TO MAU-1 AS DIRECTED BY HOOD MANUFACTURE.
- 8] PROVIDE 2 #12, 1 #12 GND IN 1/2" CONDUIT FROM 120V CONNECTION OF VFD TO MAU-1 AS DIRECTED BY HOOD MANUFACTURE.

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DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
FIRST FLOOR PLAN - AREA 'A' - POWER - NEW WORK
 PROJECT DRAWING

SHEET
E-201

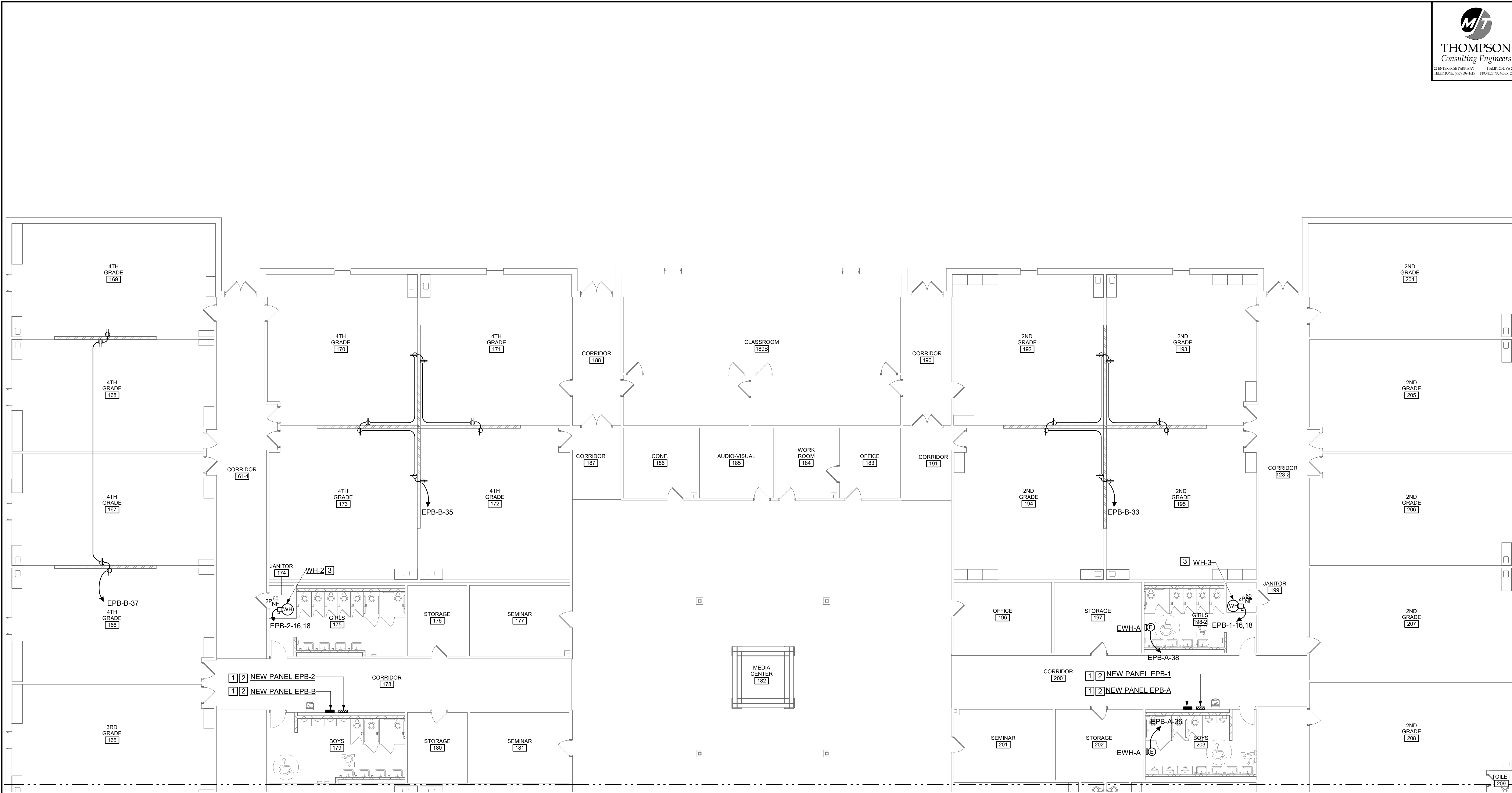
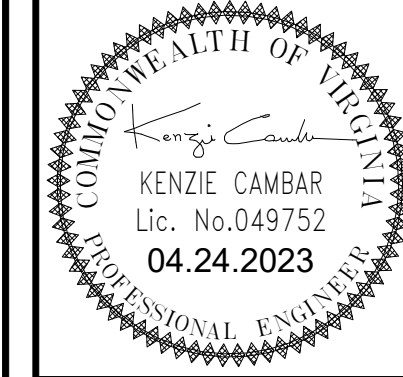
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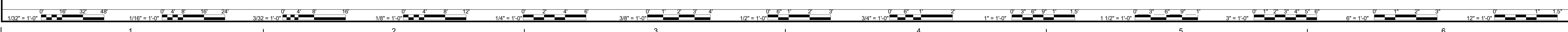
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FIRST FLOOR PLAN - AREA 'B' - POWER - NEW WORK
SCALE: 1/8" = 1'-0"

NEW WORK NOTES: (THIS DRAWING ONLY)

- 1] PROVIDE NEW PANELBOARD IN ACCORDANCE WITH PANELBOARD SCHEDULES ON DRAWING E-501 AND SPECIFICATION SECTION 262416. PROVIDE ALL HARDWARE AND EQUIPMENT NECESSARY TO EXTEND ALL EXISTING BRANCH CIRCUITRY AND FEEDER CONDUCTORS SAVED DURING DEMOLITION TO NEW PANELBOARD.
- 2] SEE "FLUSH MOUNTED PANELBOARD REPLACEMENT DETAIL" ON E-502 FOR ADDITIONAL INFORMATION.
- 3] REVISE AND EXTEND EXISTING HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION WITH 2 # 8 AND 1 # 10 GND. IN 3/4" CONDUIT AND CONNECT TO NEW WATER HEATER.



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PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841
DRAWING: FIRST FLOOR PLAN - AREA 'B' - POWER - NEW WORK

SHEET
E-202

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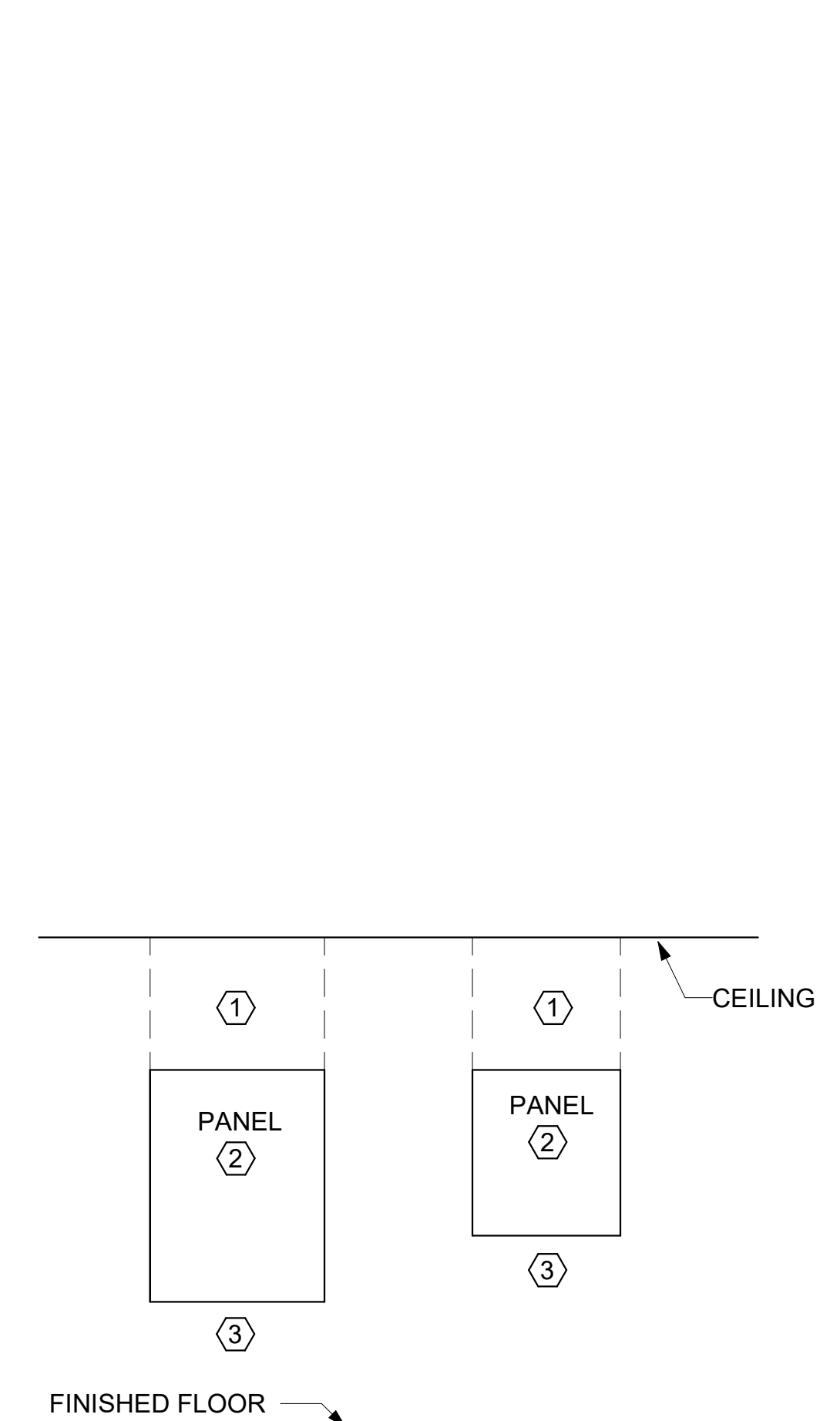
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KENZIE CAMBAR
Lic. No. 049752
04.24.2023

PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING: PARTIAL POWER RISER DIAGRAM & DETAILS

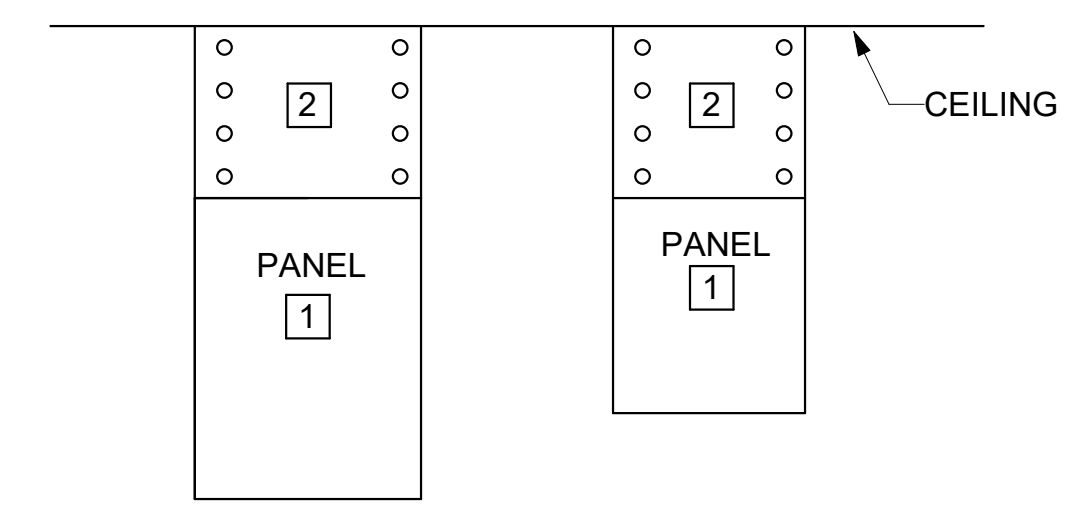
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EXISTING RECESSED PANEL DEMOLITION DETAIL
NOT TO SCALE

DEMOLITION NOTES: (THIS DRAWING ONLY)

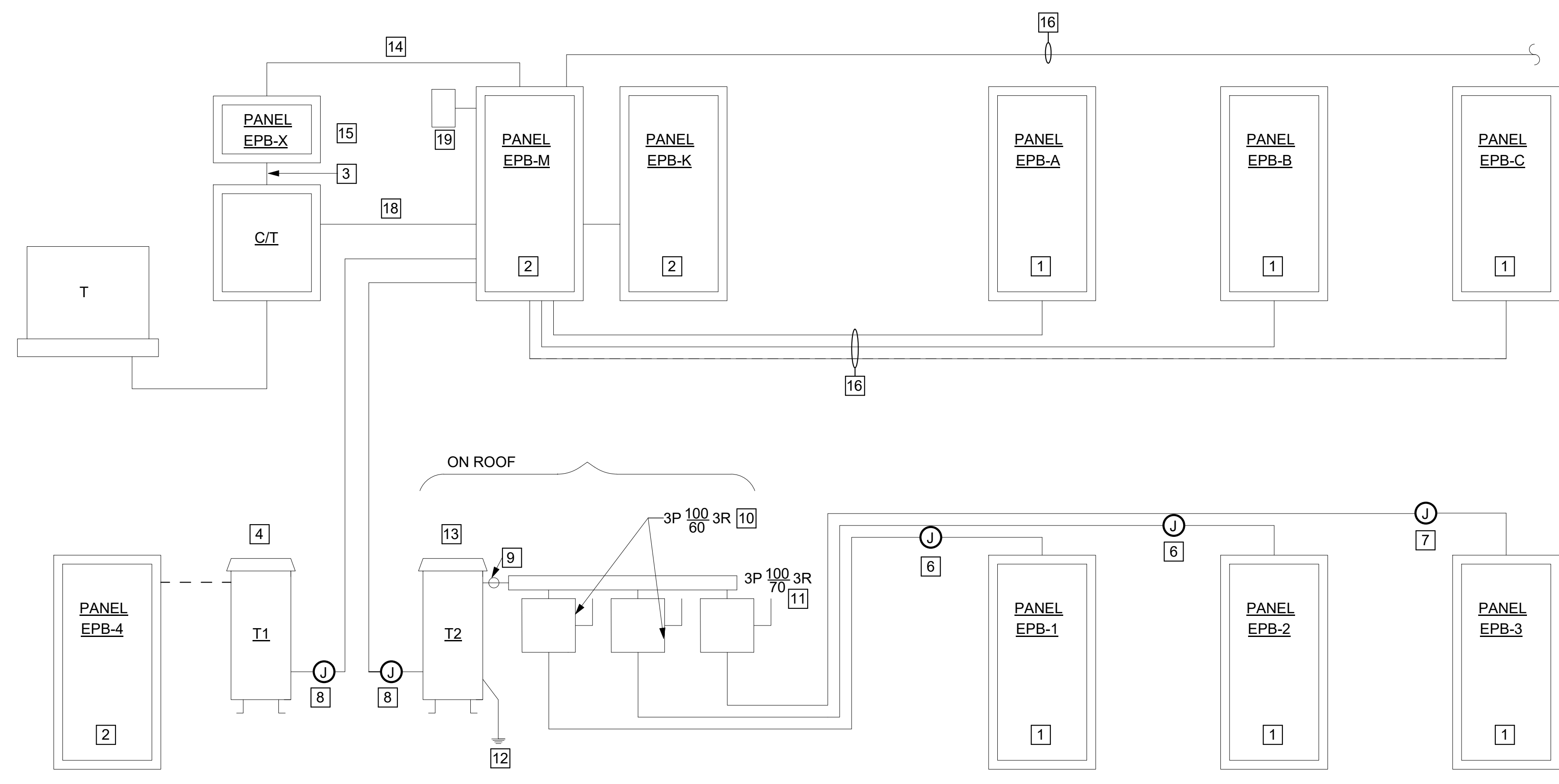
- 1 SAWCUT CMU AND REMOVE WHAT IS REQUIRED TO EXPOSE CONDUITS. USE CAUTION NOT TO DAMAGE CMU INSIDE CLASSROOM
- 2 REMOVE EXISTING PANEL. SAVE HOMERUN BRANCH CIRCUITRY FOR REUSE.
- 3 ALL HOMERUN BRANCH CIRCUITS ENTERING THE BOTTOM OR TOP OF THE PANEL ARE EXISTING TO REMAIN.



NEW RECESSED PANEL NEW WORK DETAIL
NOT TO SCALE

NEW WORK NOTES: (THIS DRAWING ONLY)

- 1 INSTALL NEW PANEL ACCORDING TO PANEL SCHEDULES ON DRAWING E-501 AND SPECIFICATION SECTION 262416.
- 2 AFTER THE INSTALLATION OF EXISTING CONDUITS INTO NEW PANEL, PROVIDE A 14GA SHEET METAL COVER BRACKETED TO THE CMU WALL. PAINT TO MATCH WALL COLOR.

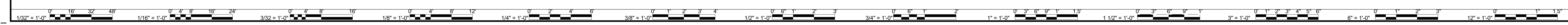


PARTIAL RISER DIAGRAM
NOT TO SCALE

NEW WORK NOTES: (THIS DRAWING ONLY)

- 1 REMOVE AND REPLACE PANELBOARD IN ACCORDANCE WITH DETAIL ON THIS DRAWING.
- 2 DISCONNECT AND REMOVE SURFACE MOUNTED PANELBOARD. SAVE PANEL FEEDER AND ALL BRANCH CIRCUIT CONDUCTORS FOR REUSE. PROVIDE NEW PANELBOARD IN ACCORDANCE WITH PANELBOARD SCHEDULE ON DRAWING E-501 AND SPECIFICATION SECTION 262416.
- 3 DISCONNECT AND REMOVE FEEDER CONDUIT AND CONDUCTORS BETWEEN CT AND PANEL "EPB-X".
- 4 DISCONNECT AND REMOVE STEP-DOWN TRANSFORMER. PROVIDE NEW TRANSFORMER IN ACCORDANCE WITH TRANSFORMER SCHEDULE ON THIS DRAWING AND SPECIFICATION SECTION 262200.
- 5 DISCONNECT AND REMOVE DISCONNECT SWITCHES. PROVIDE NEW DISCONNECT SWITCHES AND FUSES AND TERMINATE ON EXISTING FEEDER CONDUCTORS SAVED DURING REMOVAL.
- 6 PROVIDE JUNCTION BOX ON EXISTING PANELBOARD FEEDER. EXTEND TO NEW DISCONNECT SWITCH WITH 4 # 6 AND 1 # 10 GND IN 1" CONDUIT.
- 7 PROVIDE JUNCTION BOX ON EXISTING PANELBOARD FEEDER. EXTEND TO NEW DISCONNECT SWITCH WITH 4 # 4 AND 1 # 8 GND IN 1 1/4" CONDUIT.
- 8 PROVIDE JUNCTION BOX ON EXISTING HOMERUN BRANCH CIRCUITRY SAVED DURING DEMOLITION, EXTEND TO NEW 45 KVA TRANSFORMER.
- 9 PROVIDE 4 # 1/0 AND 1 # 6 GND IN 2" CONDUIT FROM 45 KVA TRANSFORMER TO NEW WIREWAY SIZED PER N.E.C.
- 10 PROVIDE 4 # 6 AND 1 # 10 GND IN 1-1/4" CONDUIT FROM NEW DISCONNECT SWITCH TO WIREWAY. SPLICE AS REQUIRED.
- 11 PROVIDE 4 # 4 AND 1 # 8 GND IN 1-1/4" CONDUIT FROM NEW DISCONNECT SWITCH TO WIREWAY. SPLICE AS REQUIRED.
- 12 PROVIDE 1 # 6 SOLID CU GROUNDING ELECTRODE CONDUCTOR TO EXISTING BUILDING STEEL IN ACCORDANCE WITH N.E.C. ARTICLE 250.
- 13 DISCONNECT AND REMOVE STEP-DOWN TRANSFORMER. PROVIDE NEW TRANSFORMER IN ACCORDANCE WITH TRANSFORMER SCHEDULE ON THIS DRAWING AND SPECIFICATION SECTION 262200. INSTALL ON EXISTING ROOF SUPPORT STRUCTURE SAVED DURING DEMOLITION.
- 14 PROVIDE 4 # 6 AND 1 # 10 GND IN 1" CONDUIT.
- 15 DISCONNECT AND REMOVE SURFACE MOUNTED PANELBOARD. SAVE FOR REUSE ALL BRANCH CIRCUITRY NOT AFFECTED BY THIS PRODUCT. PROVIDE NEW PANELBOARD IN ACCORDANCE WITH PANELBOARD SCHEDULE ON DRAWING E-501 AND SPECIFICATION SECTION 262416.
- 16 EXTEND EXISTING FEEDER AS REQUIRED TO TERMINATE IN NEW PANELS.
- 17 PROVIDE SPD IN ACCORDANCE WITH SPECIFICATION SECTION 264313. PROVIDE 4 # 6 AND 1 # 10 GND IN 1-1/4" CONDUIT. TERMINATE IN NEW 60A-3P CIRCUIT BREAKER IN NEW PANEL "EPB-M".
- 18 REMOVE EXISTING FEEDER AND CONDUCTORS BETWEEN CT AND PANEL EPB-M.

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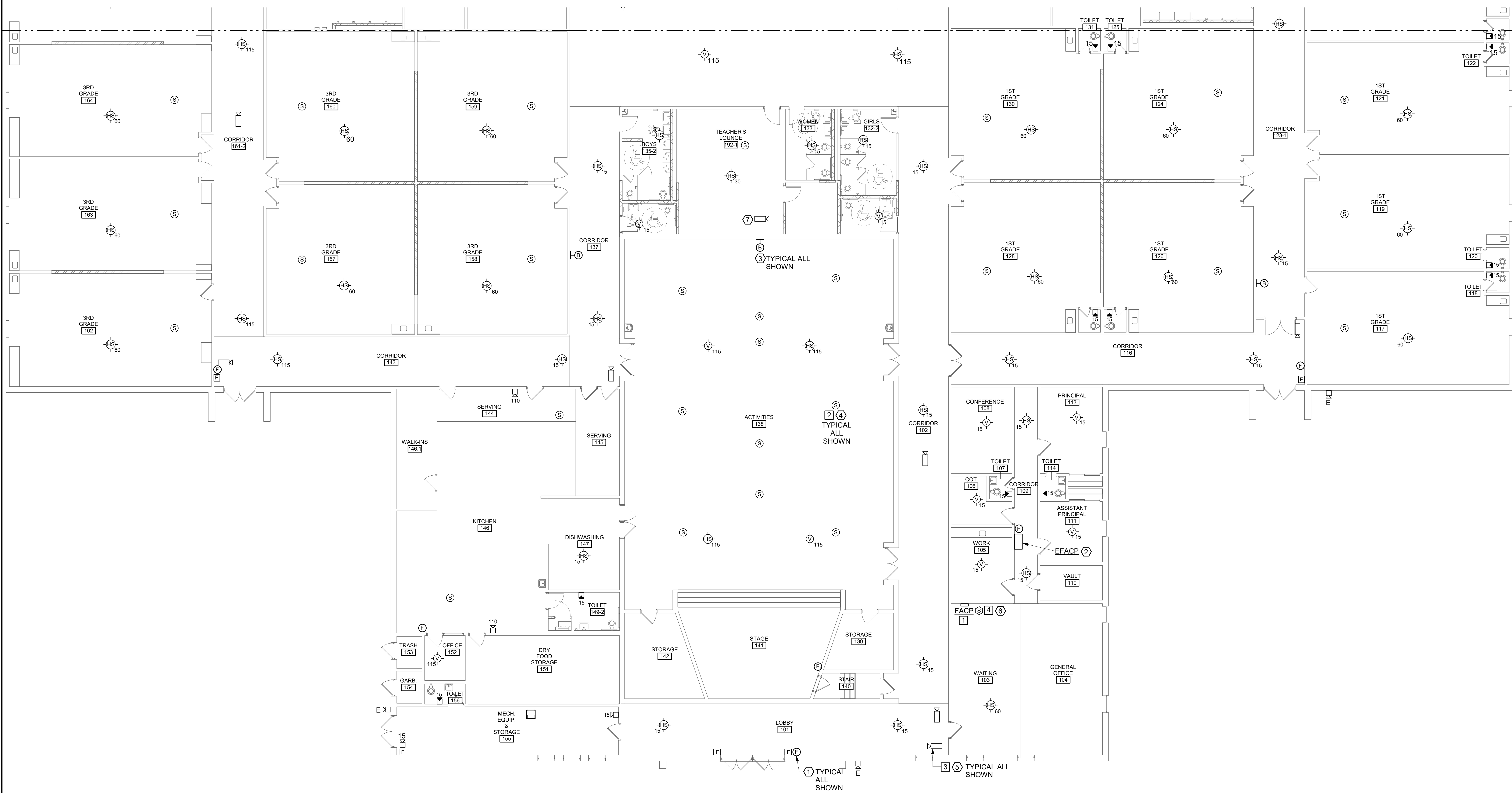


DINWIDDIE COUNTY PUBLIC SCHOOLS
SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

FIRST FLOOR PLAN - AREA 'A' - AUXILIARY SYSTEMS - DEMOLITION AND NEW WORK

DRAWING

SHEET
E-401



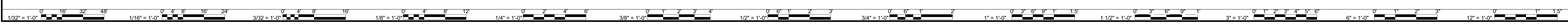
FIRST FLOOR PLAN - AREA 'A' - AUXILIARY SYSTEMS - DEMOLITION AND NEW WORK
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES (THIS DRAWING ONLY)

- REMOVE FIRE ALARM PULL STATION. REMOVE CONDUCTORS BACK TO POINT OF ORIGIN. ABANDON CONDUIT IN PLACE. PROVIDE BLANK COVERPLATE. PAINT COVERPLATE TO MATCH WALL COLOR.
- REMOVE FIRE ALARM CONTROL PANEL (EFACP) REMOVE ALL CONDUCTORS. REMOVE 120V BRANCH CIRCUITRY BACK TO POINT OF ORIGIN. PROVIDE STEEL PLATE ON EXISTING RECESSED BACKCAN. PAINT TO MATCH WALL COLOR.
- REMOVE FIRE ALARM BELL. REMOVE CONDUCTORS ABANDON CONDUIT IN PLACE. PROVIDE BLANK COVERPLATE. PROVIDE BLANK COVERPLATE ON EXISTING OUTLET BOX. PAINT COVERPLATE TO MATCH WALL COLOR.
- REMOVE SPEAKERS FROM CEILING GRID AND TEMPORARILY SUPPORT FORM BUILDING STRUCTURE. SAVE CABLE.
- REMOVE CCTV CAMERA AND SAVE FOR REUSE. SAVE CCTV CABLE FOR REUSE.
- REMOVE SMOKE DETECTOR FROM CEILING GRID AND TEMPORARILY SUPPORT FORM BUILDING STRUCTURE. SAVE CABLE.
- REMOVE CCTV CAMERA AND TURN OVER TO THE OWNER. REMOVE CCTV CABLING BACK TO POINT OF ORIGIN.

NEW WORK NOTES: (THIS DRAWING ONLY)

- EXISTING SIMPLEX 400 7ES FIRE ALARM CONTROL PANEL REUSED. PROVIDE ALL REQUIRED HARDWARE AND PROGRAMMING TO SUPPORT ALL NEW FIRE ALARM DEVICES.
- REINSTALL CEILING SPEAKER SAVED DURING DEMOLITION IN NEW CEILINGS.
- REINSTALL CEILING MOUNTED CCTV CAMERA, SAVED DURING DEMOLITION AND CONNECT TO EXISTING CABLES. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - INSTALL CCTV CAMERAS IN THE SAME LOCATION AND IN THE SAME ORIENTATION AS ORIGINAL.
 - CAMERA REINSTALLATION SHOULD TAKE INTO ACCOUNT ANY NEW OBSTRUCTIONS THAT IMPACT THE LOCATION AND/OR THE VIEWABLE AREA OF THE CAMERA SUCH AS LIGHTS AND EXIT SIGNS.
 - IF CAMERA LENS NEEDS TO BE ADJUSTED, THE CONTRACTOR SHALL WORK WITH DINWIDDIE SCHOOLS TECHNOLOGY STAFF TO REALIGN.
- REINSTALL SMOKE DETECTOR SAVED DURING DEMOLITION IN NEW CEILINGS.
- CONNECT ALL NEW FIRE ALARM DEVICES TO EXISTING SIMPLEX 400 7ES FIRE ALARM CONTROL PANEL.



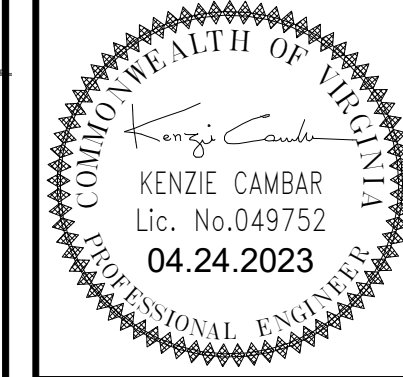
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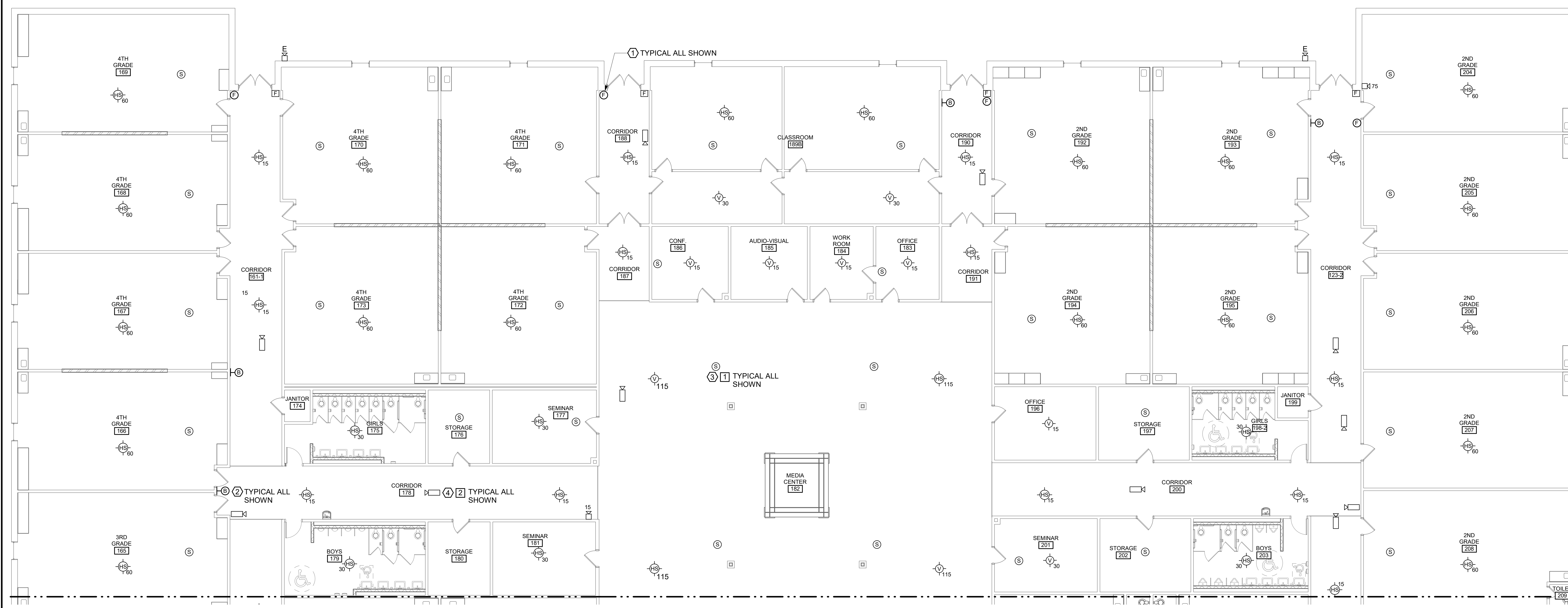
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(804)277-8987



PROJECT: DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTH SIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23041
 SHEET: E-402
 DRAWING: FIRST FLOOR PLAN - AREA 'B' - AUXILIARY SYSTEMS - DEMOLITION AND NEW WORK



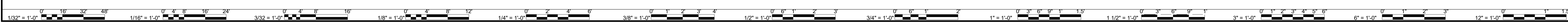
FIRST FLOOR PLAN - AREA 'B' - AUXILIARY SYSTEMS - DEMOLITION AND NEW WORK [3]
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES (THIS DRAWING ONLY)

- 1 REMOVE EXISTING FIRE ALARM PULL STATION. REMOVE COMPUTERS BACK TO POINT OF ORIGIN. ABANDON CONDUIT IN PLACE. PROVIDE BLANK COVERPLATE.
- 2 REMOVE EXISTING FIRE ALARM BELL. REMOVE CONDUCTORS ABANDON CONDUIT IN PLACE. PROVIDE BLANK COVERPLATE.
- 3 REMOVE SPEAKERS FROM CEILING GRID AND TEMPORARILY SUPPORT FORM BUILDING STRUCTURE.
- 4 REMOVE CCTV CAMERA AND SAVE FOR REUSE. SAVE CCTV CABLE FOR REUSE.

NEW WORK NOTES: (THIS DRAWING ONLY)

- 1 REINSTALL ALL CEILING SPEAKERS SAVED DURING DEMOLITION IN NEW CEILINGS.
- 2 REINSTALL ALL CEILING MOUNTED CCTV CAMERAS SHOWN ON THIS DRAWING, SAVED DURING DEMOLITION AND CONNECT TO EXISTING CABLES. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - INSTALL CCTV CAMERAS IN THE SAME LOCATION AND IN THE SAME ORIENTATION AS ORIGINAL.
 - CAMERA REINSTALLATION SHOULD TAKE INTO ACCOUNT ANY NEW OBSTRUCTIONS THAT IMPACT THE LOCATION AND/OR THE VIEWABLE AREA OF THE CAMERA SUCH AS LIGHTS AND EXIT SIGNS.
 - IF CAMERA LENS NEEDS TO BE ADJUSTED, THE CONTRACTOR SHALL WORK WITH DINWIDDIE SCHOOLS TECHNOLOGY STAFF TO REALIGN.
- 3 CONNECT ALL NEW FIRE ALARM DEVICES TO EXISTING SIMPLEX 400 7ES FIRE ALARM CONTROL PANEL.



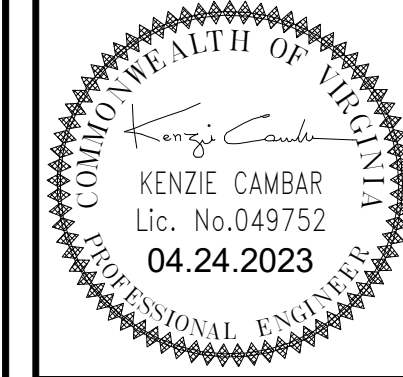
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 B:\360\121215-01 Dinwiddie County Public Schools\Southside ES - Electrical - R21.rvt



DATE: 04/24/2023
 PROJECT: 21215-00
 DESIGNED: KGD
 DRAWN: KGD
 CHECKED: KGD

MARK DATE BY REVISIONS

DATE: 04/24/2023
 PROJECT: 21215-00
 DESIGNED: KGD
 DRAWN: KGD
 CHECKED: KGD



DINWIDDIE COUNTY PUBLIC SCHOOLS
 SOUTHSIDE ELEMENTARY SCHOOL RENOVATION
 10305 BOYDTON PLANK RD, DINWIDDIE, VA 23841

DRAWING PANEL SCHEDULES

SHEET E-501

PANEL: EPB-A
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 480/277 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 42 MAINS TYPE: LUGS ONLY MAINS RATING: 400 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO
1	Lights 204,205	1	20	EX	EX		EX	20	1	Lights 206,207	2
3	Lights 208,121	1	20	EX		EX	EX	20	1	Lights 119,117	4
5	Lights 193	1	20	EX		EX	EX	20	1	Lights 194,196	6
7	Lights 192	1	20	EX	EX		EX	20	1	Lights 195,197	8
9	Lights 124,201	1	20	EX		EX	EX	20	1	Lights 128	12
11	Lights 130,202	1	20	EX		EX	EX	20	1	Existing Load	14
13	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	16
15	EH-1 118,120,122,124	1	20	EX		EX	EX	20	1	EH-1 198,203	18
17	Existing Load	3	225	EX		EX	EX	150	3	RTU #4	22
21											
23	Existing Load	3	150	EX		EX	EX	150	3	RTU #7	26
25											
27	Existing Load	3	40	EX	EX		EX	20	3	Existing Load	32
31	Sewage Plant	3	40	EX	EX		EX	20	3	Existing Load	34
33											
35	Space	1	--	--	--	7.2	12	15	1	EWH	36
37	Space	1	--	--	--	7.2	12	15	1	EWH	38
39	Space	1	--	--	--	--	--	--	--	Space	40
41	Space	1	--	--	--	--	--	--	--	Space	42

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: * VERIFY AND IDENTIFY ALL BRANCH CIRCUITS AND PROVIDE AN UPDATED PANEL SCHEDULE.

PANEL: EPB-B
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 480/277 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 42 MAINS TYPE: LUGS ONLY MAINS RATING: 400 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO		
1	Lighting 168,169	1	20	EX	EX		EX	20	1	Lighting 168,169	2		
3	Lighting 164,165	1	20	EX		EX	EX	20	1	RTU #1	4		
5	Lighting 171	1	20	EX		EX	EX	20	1	Lighting 171	6		
7	Lighting 170	1	20	EX	EX		EX	20	1	Lighting 170	8		
9	Lighting 160	1	20	EX		EX	EX	20	1	Lighting 160	10		
11	Spare	1	20	--	--	--	--	--	--	Spare	12		
13	Lighting 166,167	1	20	EX	EX		EX	20	1	Lighting 166,167	14		
15	Lighting 162,163	1	20	EX		EX	EX	20	1	Lighting 162,163	16		
17	Lighting 158	1	20	EX		EX	EX	20	1	Lighting 158	18		
19	Lighting 172,176	1	20	EX	EX		EX	20	1	Lighting 172,176	20		
21	Lighting 159,160,161	1	20	EX		EX	EX	20	1	Lighting 159,160,161	22		
23	Lighting 173,177	1	20	EX		EX	EX	20	1	Lighting 173,177	24		
25	Lighting 175,179	1	20	EX	EX		EX	20	1	Lighting 175,179	26		
27	Lighting 157	1	20	EX		EX	EX	20	1	Lighting 157	28		
29	Lighting 161,188	1	20	EX		EX	EX	20	1	Lighting 161,188	30		
31	Receptacles	1	20	10	6	EX	--	EX	40	3	Existing Load	32	
33	Receptacles	1	20	12	--	--	--	EX	40	3	Existing Load	34	
35	Receptacles	1	20	12	--	--	--	EX	40	3	Existing Load	36	
37	Receptacles	1	20	12	--	9	--	EX	12	20	1	Receptacles	38
39	Space	1	--	--	--	--	--	6	12	20	1	Receptacles	40
41	Space	1	--	--	--	--	--	6	12	20	1	Receptacles	42

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: * VERIFY AND IDENTIFY ALL BRANCH CIRCUITS AND PROVIDE AN UPDATED PANEL SCHEDULE.

PANEL: EPB-3
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 208/120 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 10 MAINS TYPE: BREAKER MAINS RATING: 70 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO
1	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	2
3	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	4
5	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	6
7	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	8
9	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	10
11	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	12
13	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	14
15	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	16
17	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	18
19	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	20
21	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	22
23	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	24
25	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	26
27	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	28
29	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	30
31	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	32
33	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	34
35	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	36
37	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	38
39	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	40
41	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	42

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: * VERIFY AND IDENTIFY ALL BRANCH CIRCUITS AND PROVIDE AN UPDATED PANEL SCHEDULE.

PANEL: EPB-C
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 480/277 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 42 MAINS TYPE: LUGS ONLY MAINS RATING: 400 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO	
1	Lighting 185,186,189	1	20	EX	EX		EX	20	1	Lighting 185,186,189	2	
3	Lighting 182	1	20	EX		EX	EX	20	1	RTU #2 Gym	4	
5	Light Switch "T"	1	20	EX		EX	EX	20	1	Light Switch "T"	6	
7	Light Switch "B"	1	20	EX	EX		EX	20	1	Light Switch "B"	8	
9	Light Switch "D"	1	20	EX		EX	EX	20	1	Light Switch "D"	10	
11	Light Switch "F"	1	20	EX		EX	EX	20	1	Light Switch "F"	12	
13	Lighting 138	1	20	EX	EX		EX	20	1	Lighting 138	14	
15	Lighting 138	1	20	EX		EX	EX	20	1	Lighting 138	16	
17	Lighting 138	1	20	EX		EX	EX	20	1	Lighting 138	18	
19	Lighting 183,184,189	1	20	EX	7.2		EX	12	15	1	EWH	20
21	Lighting 182, Pit	1	20	EX		EX	7.2	12	15	1	EWH	22
23	Light Switch "A"	1	20	EX		EX	7.2	12	15	1	EWH	24
25	Light Switch "C"	1	20	EX	--	--	--	--	--	1	Space	26
27	Light Switch "E"	1	20	EX	--	--	--	--	--	1	Space	28
29	Lighting 103-106	1	20	EX		EX	--	--	--	1	Space	30
31	EH-2, Lighting 132,133	1	20	EX	--	--	--	--	--	1	Space	32
33	Lighting 141,142,139	1	20	EX		EX	--	--	--	1	Space	34
35	Space	1	20	--	--	--	--	--	--	1	Space	36
37	Space	1	20	--	--	--	--	--	--	1	Space	38
39	Space	1	20	--	--	--	--	--	--	1	Space	40
41	Space	1	20	--	--	--	--	--	--	1	Space	42

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: * VERIFY AND IDENTIFY ALL BRANCH CIRCUITS AND PROVIDE AN UPDATED PANEL SCHEDULE.

PANEL: EPB-2
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 208/120 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 10 MAINS TYPE: BREAKER MAINS RATING: 50 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO
1	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	2
3	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	4
5	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	6
7	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	8
9	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	10
11	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	12
13	Existing Load	1	20	EX	EX		EX	20	1	Existing Load	14
15	Existing Load	1	20	EX		EX	EX	20	1	Existing Load	16
17	Existing Load	1	20	EX		EX	EX	20	1	Existing Water Heater	18

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: * VERIFY AND IDENTIFY ALL BRANCH CIRCUITS AND PROVIDE AN UPDATED PANEL SCHEDULE.

PANEL: EPB-M
 LOCATION: MOUNTING: Surface NEMA: Type 1
 VOLTS: 480/277 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 65 MAINS TYPE: BREAKER MAINS RATING: 1200 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO		
1													
3	SPD	3	60	6			EX	30	3	Outside Lights	4		
5													
7													
9	Water Heater	3	175	EX		EX	EX	EX	70	3	Existing Load	10	
11													
13													
15	Existing Load	3	70	EX		EX	EX	EX	400	3	Existing Load	16	
17													
19													
21	Existing Load	3	400	EX		EX	EX	EX	400	3	Existing Load	22	
23													
25													
27	Existing Load	3	400	EX		EX	EX	EX	400	3	Existing Load	28	
29													
31													
33	PANEL "EPB-X"	3	60	6			EX	EX	EX	400	3	Existing Load	34
35													

CONNECTED LOAD (AMPS): 0 A 0 A 0 A
 CONNECTED LOAD (KVA): 0 kVA 0 kVA 0 kVA
 TOTAL CONNECTED LOAD (KVA): 0 kVA TOTAL ESTIMATED DEMAND LOAD (KVA): 0 kVA
 NOTES: PROVIDE SERVICE ENTRANCE RATED PANEL. FIELD VERIFY AND IDENTIFY ALL EXISTING BRANCH CIRCUITS. EXTEND FEEDERS AND CONNECT TO NEW CIRCUIT BREAKERS.

PANEL: EPB-4
 LOCATION: MOUNTING: Recessed NEMA: Type 1
 VOLTS: 208/120 Wye PHASES: 3 WIRES: 4
 KAIC RATING: 10 MAINS TYPE: BREAKER MAINS RATING: 150 A

CKT NO	LOAD SERVED	P	C/B TRIP SIZE	PHASE A (AMPS)	PHASE B (AMPS)	PHASE C (AMPS)	WIRE SIZE	C/B TRIP	P	LOAD SERVED	CKT NO	
1	Existing Load	2	70	EX	EX		EX	50	2	Existing Load	2	
3												
5	Existing Load	3	80	EX	EX		EX	30	2	Existing Load	6	
7												
9	Existing Load	2	30	EX		EX	EX	EX	20	1	Existing Load	10
11												
13	Existing Load	1	30	EX		EX	EX	EX	20	1	Existing Load	14
1												